

BRANDRAM ROAD COMMUNITY CENTRE
Proposal to London Borough of Lewisham (LBL) to remain open | Prepared by the
Brandram Road Committee | September 2015.

INTRODUCTION

On the 26 June at 4pm we were informed via email by Aliene Buckton (Executive Director for Community Services, Lewisham Council) that Brandram Road Community Centre was ear-marked for proposed closure in 'April 2016.'

Sarah Hanks (chair of the Brandram Road Committee) emailed on 01 July objecting to the proposed closure and began the conversation with Lewisham Council on how we can keep the centre open.

Brandram Road is a busy and well-maintained Community Centre serving a diverse number of user groups. Our timetable is full. We currently only have two 2-hour midweek daytime slots available. Please see our attached schedule giving a full profile of our various user groups.

This proposal will be presented to Liz Dart (Head of Culture and Community Development) no later than 30 September 2015.

REASONS GIVEN BY THE COUNCIL TO CLOSE THE CENTRE

1. Financial constraints. Budget cuts to community centre running costs.
2. The area has two community centres in close proximity (Brandram Centre & Locaber Hall).
3. The mix of activities was not diverse enough.
4. The centre is not in an area of high need. I.e. it is a relatively affluent area.
5. The site is to be redeveloped by Lewisham Homes.

This proposal will respond to the four main points for closure listed above.

1. Brandram Centre actually costs Lewisham Council very little and could in the future cost nothing. We were informed in May 2015 we were to cover our own repairs and maintenance costs. Lewisham would only be paying for Statutory checks. We have researched the financial costs of these Checks (£2,032.44 in the previous financial year as advised by Lewisham Council) and can confirm that we are able to fund them ourselves in the future. As demonstrated in our audited account statement sheets from 2014-15 & 2013-2014 (please see the attached statement sheets) our receipts cover our running costs and leave a surplus.

The current committee was formed in December 2012 and has been making excellent progress on getting the centre in a stronger financial position. Prior to December 2012 the centre was not being maintained adequately. In addition the centres finances were not being well managed. In the past three years a great deal has been achieved to improve the Centre's position by creating a reserve sum for repairs and maintenance. Alongside several long

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overdue maintenance tasks being undertaken (wooden floor refurbishment, new boiler installed and heating system improved. Works currently in progress are replacement of water heating system and electric door repairs).

2. Brandram Community Centre is in close proximity to Locaber Hall. Lewisham Council have suggested that Brandram User Groups could be re-housed at Locaber. Although it is possible that some off-peak groups could be re-housed the quality of accommodation at Locaber is not comparable. Brandram is in a very good state of repair with a refurbished floor, good reliable heating and minimal drafts. Additionally, Brandram is consistently clean and well-maintained.

An additional consideration is that Brandram has a small car park with easy access to the hall. This is an invaluable asset, for example, for new mums attending groups. The timetable for both of Locaber's Halls are available on these links. <https://lochaberhall.wordpress.com/large-hall-timetable/>
<https://lochaberhall.wordpress.com/small-hall-timetable/>

It is also worth noting that Manor House Gardens Library was suggested as an alternative venue. This venue closes at 7pm so is not an option for evening groups.

3. Liz Dart confirmed on the 07 July that one of the criteria for retaining a centre was the mix of users. Brandram Road was unaware that this criteria was being used to determine their future. We also dispute the opinion that we only serve a narrow segment of our community. Attached is a full timetable of our activities. Our users range in age from babies to the elderly. We serve a diverse mix of backgrounds and ethnicities. See the attached paper petitions, statements by users, and comments from the on-line petition along with the on-line petition itself <https://www.change.org/p/london-borough-of-lewisham-save-brandram-road-community-centre-from-closure>
These petitions have been signed by over 1400 local people.
4. Brandram Road Community Centre is in Blackheath Ward (It is currently the only Lewisham Council Community Centre in the Blackheath Ward). The centre borders Lee Green (at Lee High Road) and Lewisham Central (starts half way up Brandram Road on the opposite side of the road to the centre). It therefore serves all three Wards equally well.

The centre backs onto an estate of social housing.

You can see from our attached 'timetable of activities' that we serve a community of people from across the social spectrum. Many of our User groups offer concessions or free places to lower income households. Some of our User Groups offer free to attend community activities full details of which are in the 'timetable of activities' document.

5. On the 3rd of September we were informed by Liz Dart that the site is under consideration for housing by Lewisham Homes which we feel might be a great loss.

Please find attached the package of documents entitled 'architecture and location of BRCC' to accompany the 'Representation re closure/redevelopment of Brandram Road Community Centre.

The Brandram Road Community Centre is a building of quality in terms of both its design and the materials used. Other buildings designed by its award-winning architect Royston Summers have already been deemed to merit both protection and recognition. The building, by virtue of its distinctive yet subservient design with respect to adjacent buildings, makes a positive contribution to the streetscape in an extremely sensitive location.

We also note local community buildings Locaber Hall & Manor House Library are Grade II listed and will be doing all we can to have Brandram Hall given a Listed status in recognition of its own architectural value.

OTHER OPTIONS

We understand of the 6 or 7 community centre facing proposed full closure we are the only one that is actively seeking a solution to remain open serving the community.

We also understand that we are the only one who has not been offered realistic and viable alternative accommodation.

Lewisham Council have valued the building and offered us a rental figure.

As our Audited Accounts demonstrate this figure is beyond our means. With just 9 months given to prepare ourselves to take on a lease we are looking for a workable solution and propose the following:

To open our accounts to Lewisham Council so there is complete transparency. At the end of each financial year Brandram Road Community Centre will offer Lewisham Council our surplus funds on the basis that it will be prudent for us to keep aside a sum for emergency repairs (We have had the fabric of the building surveyed and believe that it is sound order, as is the roof).

See the attached audited accounts for the past two financial years and the forecast for the remainder of the current financial year and financial year 2016-2017 which show a **surplus of £8,707 and £11,061** respectively. We expect our income to continue increasing as we are looking at other ways of increasing our receipts. (We

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have notified our User Groups of a 10% fee increase as of 01 October 2015 and are preparing to hire our small meeting room (currently being used as a store) and considering other possible revenue streams.

Along with paying as surplus funds to Lewisham Council as a 'rent' we will take all responsibility for repairs, maintenance and compliance with Statutory checks and obligations.

We ask Lewisham Council to give this proposal due consideration. We are a group of committed volunteers keen to maintain a community space a large number of people value. We can do this at no cost to Lewisham Council. (Some of our users groups have been hiring the centre for thirty years+).

We are an integral part of the community, providing reasonably priced space for babies, children and adults to socialise, exercise, learn, worship and be together in community.

BRANDRAM ROAD COMMUNITY CENTRE PROPOSALS FOR REMAINING OPEN | List of documents

MAIN DOCUMENT

Proposal to LBL for BRCC.pdf

SUPPORTING DOCUMENTS

Accounts (Forecast) 2015 - 2016 Brandram Hall.pdf

Accounts (Forecast) 2016 - 2017 Brandram Hall.pdf

Brandram accounts 2014.pdf

Brandram accounts 2015.pdf

Paper Petition - Brandram Rd Community Centre.pdf

petition comments from change.org.pdf

Brandram Hall Letters & Statements to objection.pdf

Timetable of activities.pdf

(1) Royston Summers Obituary RIBA Journal.pdf

(2) North Several, Blackheath - Local List appraisal.jpeg

(3) Lakeside Drive CA.pdf

(4) BRCC - front elevation.pdf

(5) BRCC - side and rear elevations.pdf

(6) BRCC - windows and wood panelling.pdf

(7) BRCC - foyer and flooring.pdf

(8) Brandram Road conservation area notice.pdf

(9) BRCC planning permission notice.pdf

(10) Blackheath CA Appraisal.pdf

Brandram Road Community Centre - architectural and site representation to Safer
Stronger Select Committee.pdf

Brandram Road Community Centre Association

Forecast of Accounts for the year ended 31st March 2016

(Opening Balance £8,960 on 1st April 2015)

Summary of Receipts & Payments	Total Funds to 31.3.16
Receipts	
Hall hire: regular hirers-----	26, 551 (including rental increase from 1.10.15)
Hall hire: parties and occasional hire----- (based on one party a month)	2,400
Total receipts for the year -----	28,951
Payments	
Hall management, cleaning& gardening wages----	8,000
Utilities-----	4,000 (+ £2,300 still to pay for utilities)
--	£5,000 (inc. new boiler)
Repairs & maintenance-----	1,660
Insurance (plus party insurance)-----	400
Cleaning products-----	900
Party deposits return ----- (Based on 1 party a month)	100
Bank charges-----	114
-	70
Telephone -----	
-Accountancy & membership-----	
	£20,244
Total payments for the year-----	£20,244
Surplus for the year-----	8,707

Brandram Road Community Centre Association

Forecast of Accounts for the year ended 31st March 2017

(Opening Balance £8,707 on 1st April 2016)

Summary of Receipts & Payments	Total Funds to 31.3.17
Receipts	
Hall hire: regular hirers-----	29,329
Hall hire: parties and occasional hire----- (based on one party a month)	2,652
Total receipts for the year -----	<u>31,981</u>
Payments	
Hall management, cleaning & gardening wages----	8,500
Utilities-----	4,000
Repairs & maintenance-----	£5,000
Insurance (plus party insurance)-----	1,760
Cleaning products-----	450
Party deposits return ----- (Based on 1 party a month)	900
Bank charges-----	120
Telephone -----	120
Accountancy & membership-----	70
Total payments for the year-----	<u>£20,920</u>
Surplus for the year-----	<u>11,061</u>

Brandram Road Community Centre Association

Accounts for the year ended 31st March 2014

Summary of Receipts & Payments	Total Funds £
Receipts	
Hall hire: regular hirers	17,013
Hall hire: parties and occasional hire	2,045
Other income	233
Total receipts for the year	<u>19,291</u>
Payments	
Hall management	5,427
Gas & electricity	5,233
Repairs & maintenance	3,900
Insurance	2,758
Cleaning	2,732
Bank charges	106
Telephone	98
Total payments for the year	<u>20,254</u>
(Deficit) for the year	<u>(963)</u>
Funds bf at 1st April 2013	<u>4,240</u>
Funds cf at 31st March 2014	<u>3,277</u>

Statement of Assets and Liabilities at 31st March 2014

Assets		Liabilities
Co-operative Account 50226122	3,276.86	None

These accounts were approved by the Committee at a meeting on: _____

Sarah Hanks, Chair

Laura Sydonie, Treasurer

Brandram Road Community Centre Association
Accounts for the year ended 31st March 2014

Scrutineer's Report

The income of Brandram Road Community Centre Association was below £25,000 during this financial year so the Charity Commission does not require an audit or independent examination of the accounts. I have looked at the financial records kept by the organisation and in my opinion the Receipts and Payments account and Statement of Assets and Liabilities shown above are in accordance with the records provided for my inspection.

Christine Wykes Driver

Date

Community Accountant

Voluntary Action Lewisham

120 Rushey Green

London SE6 4 HQ

Brandram Road Community Centre Association

Accounts for the year ended 31st March 2015

Summary of Receipts & Payments		Total Funds to 31.3.15 £
Receipts	Note	
Hall hire: regular hirers		18,151
Hall hire: parties and occasional hire		5,585
Other income		-
Total receipts for the year		23,736
Payments		
Hall management & cleaning wages	1	7,990
Utilities	2	3,180
Repairs & maintenance		2,565
Insurance		1,589
Cleaning	1	482
Party deposits returned	3	1,941
Bank charges		109
Telephone		127
Accountancy & membership		70
Total payments for the year		18,053
Surplus for the year		5,683
Funds bf at 1st April 2014		3,277
Funds cf at 31st March 2015		8,960

Notes

1. In previous years hall management costs included administrator wages and cleaner wages were included in cleaning
2. See estimate of utilities yet to be recharged by LB Lewisham
3. In previous years returned deposits were deducted from party income

Brandram Road Community Centre Association

Accounts for the year ended 31st March 2015

Statement of Assets and Liabilities at 31st March 2015

Assets		Liabilities
Chairs, tables, equipment	not valued	Gas & electricity estimate
Co-operative Account 50226122	8,960	Accountancy
Hall hire invoices outstanding	2,455	Deposits held

Scrutineer's Report

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I have looked at the financial records kept by the organisation and in my opinion the Receipts and Payments account and Statement of Assets and Liabilities shown above are in accordance with the records provided for my inspection.

Christine Wykes Driver

Date

Development Support Officer: Finance & Governance

Voluntary Action Lewisham

120 Rushey Green

London SE6 4 HQ

Committee Approval

These accounts were approved by the Committee at a meeting on:

Date

Sarah Hanks, Chair

Laura Sydonie, Treasurer

change.org

Recipient: London Borough of Lewisham and Mayor of Lewisham

Letter: Greetings,

SAVE BRANDRAM ROAD COMMUNITY CENTRE FROM CLOSURE

Comments

Name	Location	Date	Comment
Emma Abraham	London, United Kingdom	2015-08-17	I've been dancing there with Davies School of Dance for 10 years
Laura Cheek	London, United Kingdom	2015-08-17	Our community spaces and the activities/opportunities they provide are so vital to everyone in our communities.
Veronica Oriente	London, United Kingdom	2015-08-17	Bran had his first birthday party here, such a nice little hall, honestly would be a shame to see yet another community centre go :(
Ruth Bradley	London, United Kingdom	2015-08-17	I use this centre every week to practice yoga. I love how convenient it is as I can walk there from home in 10mins. I don't have the luxury of walking to work or my gym so it is really nice walking to my yoga class. If this moves further away it will involve more cost (for travel) and time in my evening therefore will not be able to continue my yoga classes which I really love.
Adam O'shaughnessy	London, United Kingdom	2015-08-17	I used to live in boone street and grew up with that hall many party's and event's don't want to see it go
Anna Shepherd	London, United Kingdom	2015-08-17	It's a great centre and we love attending various community classes there!
Susannah Andrews	London, United Kingdom	2015-08-17	Brandram road hall is a great community space and I love my yoga there
Martha Koser-Hall	London, United Kingdom	2015-08-17	I'm signing because I attend pregnancy yoga classes there and see it as an essential part of the local community for families.
Rachel Hall	London, United Kingdom	2015-08-17	I love my yoga class and the peaceful environment of practicing at this centre. It is close to my house, so I do not have to travel far to practice my yoga class which is particularly important when it gets dark during winter. I also don't have to pay a membership fee which would be the case if more community centres like this close and people have no other choice but to attend a gym class. Please don't close our well loved, well used and well financed community centre!
kelly jones	London, United Kingdom	2015-08-17	Im fed up of places like this bring shut down only to be replaced by religious movements or to build vulgour flats. give the children somewhere to play for goodness sake. the councils are ruining thr boroughs.
William Cullum	York, United Kingdom	2015-08-17	I taught yoga here. A nice space - and the kids have a dance class here too.
Helen Issler	London, United Kingdom	2015-08-17	I am a regular user of this excellent friendly facility. Publicly owned resources are vital for a thriving community.
Lorraine Charles	Manchester, United Kingdom	2015-08-17	This is where I went to church as a little girl and where my family still worship.
Katharine Azzopardi	London, United Kingdom	2015-08-17	I have been to classes at this centre and hired it for a party. Please don't remove everything that makes this borough nice to live in. If it doesn't cost the council much, why on earth is the council spending money in getting rid of it? Makes me so angry.
Stephanie Brookes	London, United Kingdom	2015-08-17	I love the yoga classes at the centre and cynically think that the council want to sell the land for luxury flats
toni hall	London, United Kingdom	2015-08-17	My daughter has dancing there every week
Philippa Williams	London, United Kingdom	2015-08-17	I'm signing because our communities need all the facilities they can to keep young and old entertained.
Keren Cornelius	Chislehurst, United Kingdom	2015-08-17	I use this centre.
Wendy And try	London, United Kingdom	2015-08-17	Only place in the community for kids to go
claire sellars	London, United Kingdom	2015-08-17	my daughter dose tap and ballet there

Name	Location	Date	Comment
Sarah Hanks	London, United Kingdom	2015-08-17	because its a well used and well kept centre that LOTS of local people use
frances jordan	London, United Kingdom	2015-08-17	I attend classes at the centre that are beneficial and popular.
Laura james	London, United Kingdom	2015-08-17	I am a frequent user of this invaluable community resource. This area needs infrastructure, not just housing. The increased housing puts pressure on already stretched resources. This is a solvent and well kept facility.
Jacinta Rodrigues	London, United Kingdom	2015-08-17	Yoga!
Louise Harlen	London, United Kingdom	2015-08-17	This is a great facility and we are already too overcrowded, we do not need more housing.
Pennie Hedge	London, United Kingdom	2015-08-17	A thriving community centre is something to be valued and nurtured. Easy to lose, so hard to get back.
Leigh Coulson	London, United Kingdom	2015-08-17	My children used this centre for drama classes for years. Invaluable.
Helen HAYWARD	London, United Kingdom	2015-08-17	This well maintained and clean venue is perfect for the yoga classes with babies which are a wonderful place for new mums to be supported and gain physical and mental strength after birth. And to meet others in their community to support each other in their new nurturing roles. Community centres like this are very important for the well being of nearby residents. The pregnancy yoga classes I have no doubt increase the amount of local woman which have uncomplicated births at The birth centre in lewisham, saving the nhs money on births and thereby increasing the breast feeding rate which also saves the nhs money in the future from healthy babies.
Gaye Sturrock	London, United Kingdom	2015-08-17	Please do not close this thriving centre which is a vital asset to our community.
Nadja Rothmund	London, United Kingdom	2015-08-17	I'm signing because by closing another building like this, Lewisham community will loose more and more families in the area
Kate Coss	London, United Kingdom	2015-08-17	I use this friendly local centre and think it is a valuable amenity for our community. We need places like this.
Emily Gunton	London, United Kingdom	2015-08-17	its a centre that supports the arts and young people.
Rebecca Duschl	London, United Kingdom	2015-08-17	I have taught there so I know who uses and utilises the hall.
ROSEMARY Barron	London, United Kingdom	2015-08-17	We need bases for people who live in communities to be able to gather together and build on the community support they already have for the future of everyone
david coss	France	2015-08-18	My daughter finds this valuable.
Peter Hayward	London, United Kingdom	2015-08-18	It is a very useful, we'll run centre that provides a great service
alison gall	London, United Kingdom	2015-08-18	this place is so needed!
mick davis	london, United Kingdom	2015-08-18	i have used Brandram Rd centre and found it very pleasant and affordable. What a shame.
Carolyn Wallace	London, United Kingdom	2015-08-18	irs costing the council very little.. Communities need a centre to hold events in... The council will just sell the land to a builder who will build houses/flats for his profit... The community centre benefits the whole community!
James Leek	London, United Kingdom	2015-08-18	This is madness.
Liz Leek	Nottingham, United Kingdom	2015-08-18	Communities need facilities- not more unaffordable, developer lead apartments.
Mary Garvey	London, United Kingdom	2015-08-18	We need more community centres not less. Do not take away a successful self financing resource essential to the community.
Laura Joyes	Chislehurst, United Kingdom	2015-08-18	My daughter attends miss Ann's dance classes

Name	Location	Date	Comment
Caroline Leek	London, United Kingdom	2015-08-18	I do yoga at this centre and been to numerous children's parties there. It's an important part of our community.
Kathryn Davis	London, United Kingdom	2015-08-18	As a resident of Brandram Rd, I know this community centre is an important local asset! It is well loved and well used!
Nicola Jackson	London, United Kingdom	2015-08-18	Please don't close this great local community centre. Nicola SE3 7AL
Leanne Herron	Welling, United Kingdom	2015-08-18	I'm signing because is used to dance there with my dance teacher and used to love going to that place to do my dancing so please don't close this centre down means a lot to people
Iona Tovey	London, United Kingdom	2015-08-18	Centres like this are still vital to local communities.
Rosanna Zabeth	London, United Kingdom	2015-08-18	All things that nurture community are precious and indispensable.
Susan Parks	London, United Kingdom	2015-08-18	This is a very valuable space for the local community..it is the land Lewisham want to build on..this would not be for social housing! be
Jacqueline Wheeler	London, United Kingdom	2015-08-18	This community centre was the base for a wonderful group that my children belonged to and good groups where children socialise in a creative and productive way are invaluable to society
Tash Gardner	London, United Kingdom	2015-08-18	I'm signing because I have family who use that centre and it would be a shame to see it become a block of flats or another supermarket.
RICHARD NORRIS	LONDON, United Kingdom	2015-08-18	this place provides many people with a base. It always appears to be in use
aicha m	London, United Kingdom	2015-08-18	I live near there and it is very useful, there are activities which I like going to there
Pauline Danley-Cox	London, United Kingdom	2015-08-18	Lewisham needs residents who are invested in the community in order to thrive. When people care about their communities, they become protective of their surroundings and help one another. Severing ties by scrapping a community networking resource will reduce interactions amongst engaged citizens who want to see Lewisham grow.
Angela Horn	London, United Kingdom	2015-08-18	Been attending meetings in this hall for 17 years now; it is well-designed and serves its purpose. There don't appear to be many alternatives which are as practical.
Maxine JOHNSON	London, United Kingdom	2015-08-18	Family event held in this building over many years. It's well used every day.would be missed by many.used as a polling station during elections.
Gale Gonzales	Mitcham, United Kingdom	2015-08-18	This must not close!!! Save the children
chavonne holton	London, United Kingdom	2015-08-18	I'm signing this petition as this community centre is a place where my daughter does her dance exams and is an important place as it brings people together.
SIMONETTA PANTAROTTO	London, United Kingdom	2015-08-18	It is a great community centre which provides invaluable services to my family and the local community
Lauren Law	London, United Kingdom	2015-08-18	I attend yoga at the community centre and continued to do so when I moved to Eltham nearly 3 years ago because of the connection I'd made with the place, teacher and other students.
Michelle Di Leo	London, United Kingdom	2015-08-18	This is a well loved and well used local resource. I have attended fantastic yoga classes here for several years and would greatly miss it.

Name	Location	Date	Comment
lennie charles	London, United Kingdom	2015-08-18	my family have been using this building for years . holding church every Sunday . All my babies were christend by my grandad in that church. . who sadly died in January 2015. We still have church there and it's beautiful to still see my granny when she's there... This is a place where she shared many a glorious time with my grandad family and congregation. .. I know she feels close to him there....It would be a shame to see it close down...
Cassie Benjamin	London, United Kingdom	2015-08-19	We always use this hall for our children's parties and many of my friends use it for classes. It's a lovely hall and part of our community. It cannot be taken away from us.
Antoinette Gorter	London, United Kingdom	2015-08-19	It's an integral part of the neighbour good for both young and old
Asen Kyushev	London, United Kingdom	2015-08-19	The closure of the centre i see is only to serve interest of investors. There is something quite doggy going on and I will invest more time and effort to help investigating the real reason for doing that. Hands off!!!
Michael Richardson	Bexleyheath, United Kingdom	2015-08-19	My children attend Brandram every week and it has really enhanced their confidence. They offer great things for the community which is a rear find these days. It would be a great loss if it were to close down.
Eve Manikiza	London, United Kingdom	2015-08-19	If this centre closes it will be a huge loss to the community!
Nina Lubowitz	London, United Kingdom	2015-08-19	This is a valuable community resource.
hayley dogan	Dartford, United Kingdom	2015-08-19	We love our home education meet up and would be gutted if it closed.
Stacey Crocker	Brentford, United Kingdom	2015-08-19	I used to live and went to school in lewisham. The facilities are already limited and it would be a shame to eliminate this as a place for refuge, networking, socialising and learning for people in this deprived borough.
George Hallam	Lewisham, United Kingdom	2015-08-19	These centres are vital to the community, hence the name
Jacqueline Troy	London, United Kingdom	2015-08-19	I'm signing because I go to yoga at this location every Saturday and it's got great teachers, perfect location and creates a wonderful community atmosphere. My mum has started going too.
Peter Troy	London, United Kingdom	2015-08-19	We need to preserve our local community facilities that are providing such good and varied resources.
Julie Gray	London, United Kingdom	2015-08-19	I've used this community centre for yoga and it would be a tragedy to see it close down! We need this!
Rachel Phillips	London, United Kingdom	2015-08-19	This facility offers excellent affordable yoga practice in the community. Yoga is an excellent form of practice for prevention and rehabilitation of a wide range of mental and physical conditions. To remove this facility will only add further burden to local NHS services for such conditions.
Aleksandra Szwiling	London, United Kingdom	2015-08-19	I love the centre and what it provides for the local community!!
Christina Hazboun	London, United Kingdom	2015-08-19	I think that keeping the centre open is important for the local community. It seems as though it gives more than it takes, whereas the moment it is shut down it will surely be made into a money generating machine that would take and take ...
Renee Knight	London, United Kingdom	2015-08-19	It's a wonderful hall and a community hub. More places like this should be encouraged not closed.
Helen Smith	London, United Kingdom	2015-08-19	It's a valuable part of the South East London communihty
Joanne Kerr	Blackheath, United Kingdom	2015-08-19	I love attending classes here - such community spirit! It would be devastating to see it go.

Name	Location	Date	Comment
Sarah Jones	Bournemouth, United Kingdom	2015-08-19	I no longer live in Lewisham, but have used the community centre on many occasions when I did. Pls don't close it
Caroline Rees	London, United Kingdom	2015-08-19	I am signing because so much has been done to make Bandram Road an excellent community centre - I have been coming to classes here for many years and it is a fantastic local venue and so convenient for residents living in the area.
jennifer marsh	London, United Kingdom	2015-08-19	my children go to the home edd group and need it
Nicola Brittain	London, United Kingdom	2015-08-20	I love attending classes here which are very busy and well attended by lots of people in the local area. It would be such a shame if the local centre was shut down as it is a great place for people of all ages to use and is essential for the community.
Wendy McDonald	London, United Kingdom	2015-08-20	Spaces for community activities are so crucial to well-being, especially for new parents who can easily become isolated
tony gurnick	London, United Kingdom	2015-08-20	i do yoga there
andrei knight	London, United Kingdom	2015-08-20	I belive this to be an essential meeting place for the community and in this day and age we need all the community spaces where we can gather and talk and learn and do things like practising yoga. community spaces are essential to healthy living. Please keep this space opne.
Marcia Stephens	London, United Kingdom	2015-08-20	I use the centre for yoga a lot and have also been to slimming clubs as well and its really convenient and useful.
Rosemary Clements	London, United Kingdom	2015-08-20	I have enjoyed yoga classes in this hall for c 3 years and I believe community resources like this are essential in a decent society.
Emma Moorby	London, United Kingdom	2015-08-20	This is an important community resource that should be supported
Andrew Johnson	Londres, United Kingdom	2015-08-20	This is a vital resource. They have already closed the library. They won't support vital community resources but waste loads of money on vanity projects.
Moira Davies	247 Eltham High St, London, United Kingdom	2015-08-20	Lewisham needs this, its not filled to the rafters with this kind of thing but the need is there.
Marianne Sutton	London, United Kingdom	2015-08-20	I'm signing because I have used this centre over the last ten years and lived in the area throughout that period. It's also important to keep these facilities available in the locality.
Rebecca rossiter	London, United Kingdom	2015-08-20	There are so few community centres left - to close one that is used and busy seems such a shame.
Sophia Wilson	London, United Kingdom	2015-08-20	It's a great safe and desirable space. It is local and used regularly by the community.
Emily Steadman	London, United Kingdom	2015-08-20	I have used this community centre for baby yoga and theatre tots and found it an amazingly convenient location, venue and resource. Please do not close it!!!
Tara Palmer	London, United Kingdom	2015-08-20	We need this centre to continue to support our local community.
Eloïse Comert	London, United Kingdom	2015-08-20	Eloïse
Linda Duffy	London, United Kingdom	2015-08-20	I'm signing because Brandram Road Community Centre has been a focal point of my children's lives for the last 11 years. They have enjoyed drama and dance classes there and there is no other venue in the area that can facilitate these classes.
Mariana Weigel Munoz Reche	London, United Kingdom	2015-08-20	I have used the centre for many years and it's a great space for our community
emma Murphy	London, United Kingdom	2015-08-20	The community needs this community centre!

Name	Location	Date	Comment
Noel Duffy	London, United Kingdom	2015-08-20	This is the type of multi use center that should be promoted not closed. It is a focal point in our community, providing mental (emotional) and sporting activities for a diverse age, race and interest group of people.
cheryl Hanks	Bexley, United Kingdom	2015-08-20	I am signing this as I think its wrong to close a venue that is very well used and provides very good activities for the people who live in the borough.
Zoe Fleming	London, United Kingdom	2015-08-20	I love this centre, I've used it a lot and continue to do so! Please don't close it!
Ian Bullock	Lewisham, United Kingdom	2015-08-20	The Brandram Road community Centre plays an important part in fostering closer integration, between a socioeconomically diverse neighbourhood.
Nadia Kent	London, United Kingdom	2015-08-20	This is a fantastic local resource, please don't allow it to close.
Wendy Fielder	London, United Kingdom	2015-08-21	I use the centre and it offers an essential community service.
christina enright	London, United Kingdom	2015-08-21	This centre is an important hub for bringing the community together with various activities.
virginia alvarez	London, United Kingdom	2015-08-21	to save the brandram centre! fantastic venue for fitness and parties. a very well needed space for the community!
Sean Donegan	South Croydon, United Kingdom	2015-08-21	I practised Yoga at this centre, and it is ideal for this kind of recreation, due to the quiet surroundings, and the hall space.
Patrick Bullen	London, United Kingdom	2015-08-21	We attend a wonderful yoga class in this community centre almost every week and it will be a great loss to see it close.
Carole Penfold	Swindon, United Kingdom	2015-08-21	Why close a centre that pays for itself and serves such a lot of the community
lindsey holliday	London, United Kingdom	2015-08-21	Yoga with julie
Gillian Jackson	London, United Kingdom	2015-08-22	I am signing this petition as I have attended several groups at this centre over the last five years, which is an excellent space and easy to access by public transport as well as by car if needed and has good facilities for all.
desmond Hegarty	London, United Kingdom	2015-08-22	It helps make Lewisham worth living in
Claire Hardy	London, United Kingdom	2015-08-22	My children have used Brandram Road a lot over the years for ballet and drama clubs and still do. It would be a real shame for the community to lose the benefit of this centre.
Michele Mensing	London, United Kingdom	2015-08-22	This is an important neighbourhood resource that is too precious to lose.
Jane Draper	London, United Kingdom	2015-08-22	Closing thriving community resources is likely to cost much more in the long term than short term savings.
Jackie Thompson	London, United Kingdom	2015-08-23	Brandram Road community centre offers people the chance to get physically fit by attending different activities ,also make friends at low cost. In this time of austerity if this resource is withdrawn many people will not be able to afford to go elsewhere resulting in isolation ,declining physical and mental health. For mums with children this hall offers a much needed space with in walking distance. Kids need the example of being able to walk to activities rather than drive to help in fight against obesity.
Eric Verity	London, United Kingdom	2015-08-23	It has played a useful role in our community, and is valued
James Hempsted	London, United Kingdom	2015-08-23	James Hempsted
Michelle Chambers	London, United Kingdom	2015-08-23	I'm signing this petition because this is my local community centre & it provide vital resources & activities for my local community
Martina AGATIELLO	London, United Kingdom	2015-08-23	The community centre plays a fundamental part in the community.
Wendy Higgs	London, United Kingdom	2015-08-23	I know Brandram Road Centre is a vital resource for the enjoyment and cohesion of our local residents and community

Name	Location	Date	Comment
Gordon Barkaway	London, United Kingdom	2015-08-23	It's a valuable local community resource.
Jo Thornhill	London, United Kingdom	2015-08-24	I used this centre for classes with my young baby - it was a life line when I was a new mum and in need of support.
Caroline Frankau	London, United Kingdom	2015-08-24	The centre is a fantastic resource - we have used it for childrens' parties and would hate to see it close. Please keep the centre open so it can continue to serve the community.
Louise Kattenhorn	London, United Kingdom	2015-08-24	It's a valuable resource for the community. We need places like this which add value to our lives (not horrible commercial centres & shops) Life is not just about buying things. Life is about community, education and friendships.
Caroline Millar	Whitstable, United Kingdom	2015-08-24	When I lived in the borough and used the community centre regularly. It's an important community space.
Alice Hughes	London, United Kingdom	2015-08-24	It would be an utter shame...if we continue at this rate....we will get rid of all the community spirit that a society needs in order to thrive and learn from each other!
Caroline Johnston	Lewisham, United Kingdom	2015-08-24	It's important to keep this local centre going!
Alison Sweet Sweet	London, United Kingdom	2015-08-25	It is an essential asset to the community for local people to relax and unwind at the many yoga classes that take place there. It is an ideal and tranquil location. Do NOT close it please!
Shirley Nelson	London, United Kingdom	2015-08-25	This is a brilliant centre for all the community. Open for many years with generations of users.
Barbara Leach	London, United Kingdom	2015-08-26	This space is a haven that provides for me to attend affordable yoga classes. If it closes down, I fear that another venue will force our teacher to increase her charges - and, for many, make exercise inaccessible.
Ramona Peoples	London, United Kingdom	2015-08-26	I have been attending yoga classes at Brandram Road community centre for many years and I hope to continue to do so for many years to come. DO NOT CLOSE IT!!!!
Simon Fullerton	London, United Kingdom	2015-08-26	Myself and my family use this facility regularly and strongly feel it's loss is a detriment to our community and the activities it offers our children.
Justine Sambrook	London, United Kingdom	2015-08-27	Brandram Road Community Centre is a valuable and well used community resource.
sally henstock	Cleckheaton, United Kingdom	2015-08-27	invaluable for yoga and children groups. great location in the heart of a local community. used loads whilst on maternity leave.
Denise Taylor	Catford, United Kingdom	2015-08-29	It would be a real shame to close Brandram Hall that means a lot to the community holding a vast amount of events & classes that would disappoint a lot of people.
Johanna Summers	London, United Kingdom	2015-09-01	Please leave us with something no to closure of brandram closure
Scitra Henry	Lewisham, United Kingdom	2015-09-01	I am signing because community halls are vital for any people living in an area as groups and activities make the community.
Linda Saunders	London, United Kingdom	2015-09-01	community resources are precious and keep communities talking and vibrant
Jane Butler	London, United Kingdom	2015-09-01	I'm one of the many people in the local community that have benefitted from using this centre - for mother and baby activities in my case.
Irene Lomas	London, United Kingdom	2015-09-01	It is a wonderful local resource. Need to resist these austerity measures.
Pat Mahony	London, United Kingdom	2015-09-01	We need this community space.
christopher cornish	London, United Kingdom	2015-09-01	this is a valuable resource. save money by cutting the mayors budget

Name	Location	Date	Comment
Sylvia Glenn	London, United Kingdom	2015-09-01	I live locally and there is a lack of facilities, such as this, for hire. This hall fills a gap in local amenities.
Steph Betton	London, United Kingdom	2015-09-01	Community centres are a vital hub that can literally provide a lifeline for people to meet others. They are more than cost-effective.
Muriel Cooper	London, United Kingdom	2015-09-01	Have spent many happy times in this hall. We can't let places like this disappear.
Kirsty Davide	London, United Kingdom	2015-09-01	We need to keep our community spaces and stop building luxury apartments that no one locally can afford!
David Coombe	London, United Kingdom	2015-09-01	This is a very important facility that serves the community well, it's closure would seriously affect many vulnerable folk.
David Hardy	London, United Kingdom	2015-09-01	Communities need these centres to keep communities together! :)
Eileen Morgan	London, United Kingdom	2015-09-01	We need community spaces like this!
tania lambert	London, United Kingdom	2015-09-01	I believe that a lot of people in the community will suffer
Gloria Biggs	London, United Kingdom	2015-09-01	If this community resource is lost it will never be possible to get it back.
Paul Folan	London, United Kingdom	2015-09-01	My business is local and as soon as they have a space that we can use, we want to use it. Spaces like this are vital for communities - and we don't appreciate how much they are worth...just worry about how much they cost. As a local business, I am more than Happy to support this petition. Paulf 07976605598
Sukey firth	London, United Kingdom	2015-09-01	This is a great local resource much needed
sarah james	london, United Kingdom	2015-09-01	Community centres are important.
Rachel Evans	London, United Kingdom	2015-09-01	I'm signing because it is a VALUABLE community hall. My daughter currently attends dance classes there and in the past I have attended many classes there including pregnancy yoga and mummy and baby yoga.
Holly Taylor	London, United Kingdom	2015-09-01	I attend fantastic Pilates classes there and it has a most beautiful wooden floor very expensively replaced and polished two years ago.
Julia Parry	London, United Kingdom	2015-09-01	Have used this centre to attend classes with my son. Want to be able to continue with my baby girl.
marc goodman	Southampton, United Kingdom	2015-09-01	I care about the people that use this community venue
Katherine Harley	London, United Kingdom	2015-09-01	The centre played a key role in a happy birth of my two babies.
Korral Gaxe	London, United Kingdom	2015-09-01	This centre serves the local community. And doesn't cost council much so why close .
Sandra pearson	London, United Kingdom	2015-09-02	My daughter and myself have been using this hall for years for her tap and ballet classes and my Pilates. This hall is important for our local community.
Des Waters	London, United Kingdom	2015-09-02	This is a well used community hall and should be kept for the future, if housing sites are need what about the old coach works less than 50m away that has been rotting for years, why not CPO that?
Anne tison	London, United Kingdom	2015-09-02	Great community place! Do not close. Started teaching yoga classes there and rented many time for kids party
Richard Blackburn	London, United Kingdom	2015-09-02	An essential
Anna huckvale	London, United Kingdom	2015-09-03	I attend classes there and don't want it to close.
Donna Read	London, United Kingdom	2015-09-03	I'm signing because my daughter has ballet lessons there each week.
Anna Pajak	Kent, United Kingdom	2015-09-03	The community needs this lovely space too much to allow it to close.

Name	Location	Date	Comment
Poppy Cousins-Roe	London, United Kingdom	2015-09-03	I attend the community building mummy and baby yoga there every week and have enjoyed and needed the support and community network it provides.
Katie spicer	London, United Kingdom	2015-09-03	The centre is where I attended a birthing workshop, pregnancy yoga and where I will take my daughter to mother and baby yoga - the Centre is a valuable resource to the blackheath and Lewisham communities!!!!
John Cooney	London, United Kingdom	2015-09-03	This is a hugely important community venue that caters for people of all ages. It generates revenue and is of benefit to many, many local users. At a time when government cuts are isolating more and more of the oldest, weakest and most vulnerable in our society, any venue which helps bring a community together is of immense value.
Eimear Quinn	London, United Kingdom	2015-09-03	I have used and plan to continue to this excellent local facility for yoga classes.
Staten Cousins-Roe	London, United Kingdom	2015-09-03	My wife, as a new mum, has used this invaluable centre and found its facilities to be essential to her and many other mothers in the local area.
Janet Cooke	Southampton, United Kingdom	2015-09-04	It isy families social facility
charlotte Lees	London, United Kingdom	2015-09-04	The cost to keep it open is very little for the LA whilst it offers excellent services
claudia brogelli	Welling, United Kingdom	2015-09-04	I use it and it is a very important place for the community.
Sally moran	Bexley, United Kingdom	2015-09-04	My daughter enjoys her dance classes there, it is easily accessible. Lots of activities are run there it serves the community well, helps bring people together.
Pip Hobby	London, United Kingdom	2015-09-05	I use this resource regularly and don't want to see it go
Richard Evans	London, United Kingdom	2015-09-05	I understand that this community facility is virtually self funding. Closure is unnecessary and would damage the community of which I am a part.
Anne-Marie Brennan	London, United Kingdom	2015-09-05	This hall is used by a wide section of our local community, I attend yoga classes there. It would be a huge loss if it were no longer available to the community.
Louise Hassan	London, United Kingdom	2015-09-05	My daughter has had her dance lessons and exams here for years. These halls are needed in the community
Wendy Shelton	London, United Kingdom	2015-09-06	It is a great asset for the local community and used everyday.
Mark Wilkinson	London, United Kingdom	2015-09-06	Well used by me and many friends
Kelly Golding	London, United Kingdom	2015-09-07	Living on Brandram Road, I see how important the centre is on a daily basis . I use the centre every week.
SUSANNAH WILKS	London, United Kingdom	2015-09-07	I'm signing because the centre costs the Council very little, and the Council should be looking to increase the services the centre provides and the money it can make the Council. The centre is already fantastic and the Council will incur more costs if it closes down e.g. no access to keep fit classes will mean more obesity and greater NHS bill
Fernanda Parker	London, United Kingdom	2015-09-09	I have been to this centre in many occasions, including birthday parties, baby and pregnancy yoga and think it is a shame for the neighbourhood if it is closed down
anne-marie curry	London, United Kingdom	2015-09-09	its essential grass roots work with the young people of the borough
Matthew Henderson	London, United Kingdom	2015-09-10	It is a great local resource
Julie Williams	London, United Kingdom	2015-09-10	This centre is well used and needed by the community. My daughter had her ballet classes here for many years.
Mandeep Kalsi	London, United Kingdom	2015-09-10	It's a great centre for the community

Name	Location	Date	Comment
Francis Beadle	London, United Kingdom	2015-09-10	It's a false economy to close places like this. They help people stay mentally and physically healthy and help cement community links which benefit everyone.
John Hamilton	London, United Kingdom	2015-09-11	We need to keep community centres open. The council's short-term attitude has led to public land being sold off or given to developers rather than building council housing. Now in desperation the council is looking for land it still owns for housing, at the expense of socially valuable premises such as Brandram (and Honor Oak, Wesley Halls, Lochaber Hall, etc. See http://councilmeetings.lewisham.gov.uk/ieListDocuments.aspx?CId=189&MId=3763&Ver=4 for full list.
Deborah Montlake	Harlow, United Kingdom	2015-09-12	Let's support our local Community - help save this busy local Community Centre!
Lisa Wall	Dartford, United Kingdom	2015-09-12	Please don't close this community centre as it is needed in the community for a wide variety of people
Marilyn ward	London, United Kingdom	2015-09-12	It has to stop the community needs places to go, to alleviate loneliness, to learn to share to make friends and laugh together
Danica Gorman	Greater london, United Kingdom	2015-09-13	My son uses this centre!
Kim Matthews	London, United Kingdom	2015-09-13	I believe kids need some where and something to do
Siana Harris	London, United Kingdom	2015-09-13	Both me and my sister growing up came here at a young age to do drama classes. Loved it and would be so sad to know other kids couldn't have the same chance!
Debbie James	London, United Kingdom	2015-09-13	There are so few community resources in Lewisham, we should hang on to what we have.
Georina Thomas	Dover, United Kingdom	2015-09-13	This a great place provides excellent facilities for the community the council are being ridiculous
Jo Peachey	London, United Kingdom	2015-09-13	I live locally and as someone else said Lewisham can't just be a place where people sleep - there need to be places where people can meet as a community that you don't have to be rich to join and go to!
Clare Sharpen	London, United Kingdom	2015-09-13	It is community led and self sustaining.
Amanda Maloney	Broadstairs, United Kingdom	2015-09-13	I was a community worker in lewisham for over 20 years and centres like this one need to be grown not shorn down
Lynn Thomas	London, United Kingdom	2015-09-14	Fed up with community buildings being closed down..then probably the land used to build even more flats for even more people to live in the area!
Cynthia Gaynor-Bailey	London, United Kingdom	2015-09-15	I do not wish to see the borough lose its much valued resources
Jennet Grosvenor	London, United Kingdom	2015-09-16	This is a great community facility which we will miss if it closed.
Ley Tsang	London, United Kingdom	2015-09-16	It's something we need in the community
Kelly Harry	London, United Kingdom	2015-09-16	The loss of community centres is a loss of an amazing community resource. We need these centres
linda Douglas	London, United Kingdom	2015-09-17	The community centre is a valuable resource used by a wide variety of organisations. Its an important part of local life
Wendy Dennis	Hackney, United Kingdom	2015-09-17	You need this. Lewisham if you close it that will mean more folk on the streets...

Name	Location	Date	Comment
wendy seers	London, United Kingdom	2015-09-17	We need as many community centres as possible! They bring people together!! They provide space for some fantastic classes and groups for the COMMUNITY! Why would you want to stop that from happening?
Thomas Carabine	London, United Kingdom	2015-09-20	Its a community center and holds nice events to hold the local community together
tony bear	london, United Kingdom	2015-09-20	I will stand and fight all these attacks on the community by this council and government.
Robert Thorpe	Alice Springs, Australia	2015-09-21	I used to live in Lewisham and this is a real benefit to the community
Sally Thorpe	Croydon, United Kingdom	2015-09-21	I'm signing because the local community in Lewisham needs this centre, which has been popular for 30 years.
Peter Fundela	London, United Kingdom	2015-09-22	Centres like Brandram Road are at the heart of our community. The facilities they offer not only support charities, they promote health and fitness, and bring parents and children together. The cost of losing Brandram Road will not be met by saving the council some money. It's just not worth it.
Annie Mounsey	London, United Kingdom	2015-09-23	This is well needed in our community
Kate Scullion	London, United Kingdom	2015-09-24	It is a fantastic local resource for groups to meet and parties to be held. There isn't enough of them, please don't make fewer by closing this hall
Olivia Scrimshaw	London, United Kingdom	2015-09-24	i am about to move into the area and this community facility was one of the attractions
Stewart Whitworth	London, United Kingdom	2015-09-24	Living just over the road, I see daily the diverse range of activities this centre offers the community.
Richard Amos	New Cross, United Kingdom	2015-09-24	Devastating. These Community Centres are vital. They change with the times, the people around them and consistently provide a place for all. Not everyone can afford to, is able to, or has the will to travel to centralised community facilities, and so localised centres are so important in keeping communities together. The reason for closure seems to be funding related rather than lack of demand or value to the community, which is a very sad reason to close something that is relatively affordable.
Beverley Grigor	London, United Kingdom	2015-09-24	It's a perfect community centre. Lots going on and very important to the local community
Marian Roberts	London, United Kingdom	2015-09-25	This centre is a valuable local community resource which should not be destroyed. This would constitute a damaging loss to the quality of local life and a false economy.
Brian Swift	London, United Kingdom	2015-09-26	This is a very important local community resource. Once lost, it is hard to see it being replaced. It serves a real local need, is well-used and costs the Council very little.
Helen Pickstone	London, United Kingdom	2015-09-26	Community centres provide good spaces for local people to meet thereby creating a sense of community so enhancing quality of life, giving people a focus , a sense of belonging and reduction in alienation which can lead to ill health and crime. Thereby saving money in the long term for the country
Susan Swift	London, United Kingdom	2015-09-26	This is very important for local people and not an extravagance.
Maggie Hughes	London, United Kingdom	2015-09-29	It is an excellent facility and the community needs spaces like this for a whole range of activities

Name	Location	Date	Comment
Hayley Archer	London, United Kingdom	2015-09-29	This centre plays a vital role in the local community. Closing it would prevent many local people from having access to important services for their health and wellbeing.

BRANDRAM ROAD COMMUNITY CENTRE
– LETTERS & STATEMENTS FROM REGULAR USER GROUPS

To Whom it May Concern:

I have been running the Helen O'Grady Children's Drama Academy in the South London area for nearly twenty years, and for most of that period have been using the Brandram Road Community Centre for our base in Lewisham for its location, facilities and excellent state of repair.

The prime aim of the Academy is to use drama to develop the vital life skills children (aged 5-18) need in order to have the best possible start in life. We develop their confidence, self-esteem and communication skills and have had the support of many local schools and hundreds, if not thousands, of children and their families during this time.

Our classes at the centre are some of the best attended and we currently have nearly sixty children from the local community enrolled. Several of these children are from considerably disadvantaged backgrounds and attend free of charge, based on recommendations from schools in the local area.

The centre is a vibrant and busy hub for the local community. In a period when many other similar organisations have struggled financially, Brandram Road has seen its profits grow considerably over the last couple of years thanks to a new and dynamic management team. It makes no sense to close a successful and relatively modern centre which continues to serve many in the local community in a variety of different ways.

Yours Faithfully,

Neil O'Gorman (Principal, Helen O'Grady Drama Academy)

To whom it may concern,

I was very saddened to hear that Brandram Community Centre was closing. I have been teaching children from 3 yrs to 16 yrs Ballet and Tap there for over 20 years. All my pupils are from the local area and walk straight from school for their weekly lessons. We also use the hall for our Examinations as it provides the special ballet barres. Which no other hall provides and is essential for their ballet. My problems if I can't continue to teach there are not only losing my business but the great community spirit which all the parents and pupils enjoy. From past experience I know that if the children have to travel by car to a new hall I

will lose so many pupils as so many parents do not have the transport, and the children will miss out having a great social experience as well as the exercise they so enjoy . The hall is so well looked after and we all do our best to keep it that way. Please if there is any way we can keep the centre open give us the opportunity to prove this.

Yours Sincerely
Ann Davies (Davies School of Dance)

23rd Jul 2015

Conquerors Covenant Saints



Dear All

We at conquerors wish to write in support on behalf of our members and fellow groups and churches of the appeal to save Brandram Community Hall.

The Hall is a centre of many activities for the faith groups and is used for various purposes. We have enjoyed using the hall and if we are right about the benefits faith groups bring to the community, you will want to be prepared for the battle with good information regarding the benefits churches bring to this community. Fortunately I've prepared some of the activities we do below which are positive for a number of children and young people in the community. We also regularly use Brandram Hall and appreciate the facilities which are available for our services the community around has also enjoyed some of the occasional events such as Christmas parties which we've hosted and provided entertainment and light refreshments.

In these days of financial stresses and deep depressions, help and encouragement is one of the best things that we can do for each other. Often its churches like us that are seeking fresh ideas on how to help our community. At this moment I am doing a great deal of outreach in my group. We have had drug addicts rehabilitated and also helped stop forced prostitution. We also help families and individuals who are homeless with food, clothing and also directing them to local authority for further assistance.

We believe that Brandram Hall relies a great deal on the Community, with its facilities, and that the community here wouldn't do without it allowing these activities for young and old, as it has for many years.

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Yours sincerely
Rev Victor Ayuko



Family



Faith



Love

A Little about Us

We are committed to helping each other grow in Our Christian faith and in our worship and service of God. We believe that people need Jesus and as a church we have found that faith in him makes a difference in our everyday lives.

Our Vision

To be a church that demonstrates the reality of God's love and power so that we can impact the community around us and the world.

Our Meetings



We Meet every Sunday at the Brandramm Community Centre from 09:00am until 11.00am We also meet on

Fridays for midweek from 7.30pm to 9.00pm.



OUR COMMUNITY ACTIVITIES

Fun for Kids. One great community event that we hosted last year summer 2014 and will be hosting every year is one for kids.

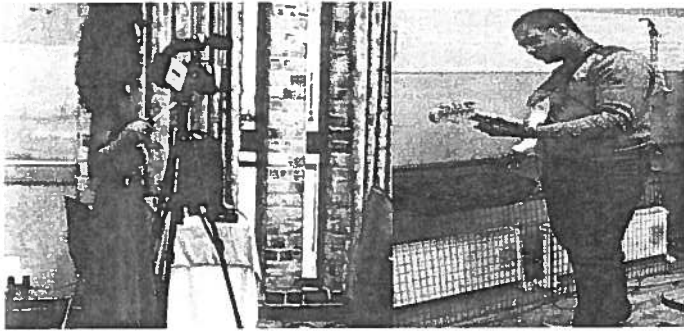


It's a one-day event to get people together and have fun with the kids.

After all, where there are kids, there are also adults! Rent some inflatable toys, host a giveaway (like an iPod or iPad for the adults), provide free drinks and snacks, and let the fun begin.

YOUTH REACH OUT

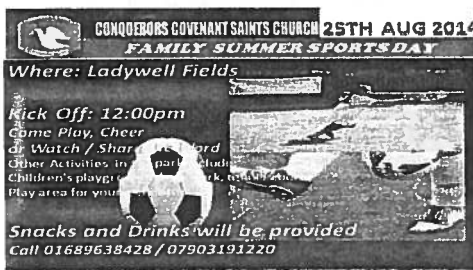
MUSIC AND MEDIA WORKSHOP AT BRANDRAM COMMUNITY CENTRE



Conquerors hold various workshops on media and music classes on Fridays, Our pastor Victor Ayuko is one of the trainers and musician and studied media at Greenwich University. We hope in future to have our own media.

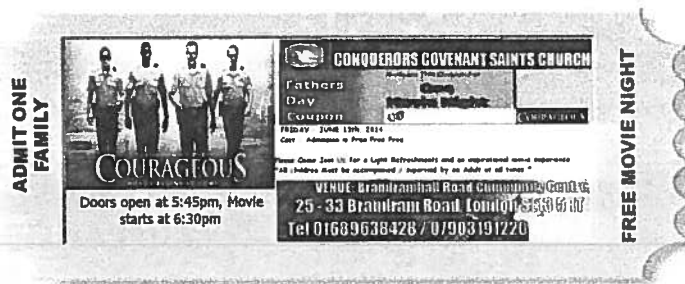
SPORTS

We have sports day's in summer and encourage the community to join. We hope and trust to start a community league. Last year we had sports day and will be hosting one in Aug



Bank holiday 2015.

COMMUNITY MOVIE NIGHT



The community around Brandram Hall is invited to join us for a FREE MOVIE NIGHT, where we show independent Christian Film. A gift from us for families. Come and let's bring back Honour and Courage back to our family's community and the Church. ****# free refreshment

FUTURE PROJECTS

Homeless Breakfast

Through Conquerors

We are planning to launch Breakfast Club, counselling sessions, community alcohol detox, for the vulnerable in the next few months as we are looking for a suitable hall that can allow and give us a slot.

We will be opening at 8am with the last breakfasts served at 10am and close at 10.30.

With our own research we have noticed significant rise in the number vulnerable attending sleeping rough and with no food in London particularly south east London. We are expecting within 1 year to be serving up between 25 and 30 attending regularly. We will serve a full cooked breakfast consisting of bacon, egg, sausage, beans, tomatoes, toast and chips. Clients can also have cereal, porridge with unlimited tea and coffee. We will also offer apple pastries and fruit when available.

We are intending to also involve the local government and other donors like supermarket .In recent times supermarkets like Tesco have given over £300 worth of shirts and jumpers to charity and we also would like to offer clothes we can via our clothes bank which will follow with time. Donations can come from other churches and generous organisations or individuals. This will put a smile on the clients attending and am sure they will be very grateful; especially in the colder getting months.

In December 2015 we are planning to host a FREE Christmas Lunch with all the trimmings for the Launching of this Project, we are also appealing for wonderful volunteers provide these free breakfasts.

On occasions we will refer clients to a local authority and other charities that will help them get housing support.

Donations will always be needed to keep the project operating, we are kindly requesting if one would like to financially help us or physically volunteer please feel free to contact us.





GET INVOLVED

There are many ways to get involved. You can contribute financially by becoming a sponsor , partner , make a donation

You can also engage in voluntary aid. There are many different tasks we need help! Lease trailer with relief supplies, up a stand, be collection box bearer, enlist sponsors, obtain goods, doing public relations on the Internet and social media, etc. Or maybe you want to pull off a campaign in our community where your money is going to one of our projects? The possibilities are endless! Please contact us at covenant.saints@yahoo.com or tel. 07903191220 you can also take part in this great work! We Meet On Saturdays 10:00am To create awareness and *Witness to people with drug and Alcohol Addictions*

Contacts

covenant.saints@yahoo.com

Tel: 01689638428 / 07903191220

Yours sincerely

Rev Victor Ayuko

The benefits of Pilates in the community -

I am a licensed Body Control Pilates Instructor with over 15yrs experience, and have been teaching at Brandram Rd Community Centre throughout this time, improving the health and wellbeing of the local residents, particularly those suffering from long-term back / neck pain.

Pilates can also be successful helping those with chronic conditions such as MS, Asthma and Hyper Mobility, potentially reducing the demand on the NHS.

I also provide a valuable service particularly for the elderly, helping them to remain active and improving strength, mobility, independence and building a network of friends, therefore, providing coping strategies for depression and loneliness.

Pilates is excellent for both physical and mental wellbeing for the community.

Nicole Gatter

We are a community group (a member of Voluntary Action Lewisham)

Our group is called Tamil community and Youth Centre. It has been in existence for over ten years. It has been providing arts and sports activities for the Tamil community in Lewisham and surrounding areas. It is a 100% voluntary and self-help group.

We organise sports activities, poetry and chess competitions every year. We fortnightly meet on Sundays to discuss issues that affect the community, with a professional or experienced person present. Issues such as the importance of parents understanding their children in the newly adopted environment, women's education and empowerment, parenting, mental health and alcohol abuse are the main issues that we have discussed. There are nearly 2000 Tamil families in the borough of Lewisham and many of them are in low income.

We also have many adults and children coming who have experienced trauma of the war in Sri-Lanka. Many of them never had access to counselling.

Currently we are looking for a voluntary English language tutor to teach spoken English to parents mainly women. Members are not charged for attending sessions. Some senior members contribute towards hiring the hall on Sundays.

Alfred Venthakone

Tamil Community & Youth Centre

13th August 2015

To whom it May Concern,

Dear Sir/Madam,

RE: Brandram Road Community Centre

New Life Worldwide Apostolic Church is a multi-cultural community Church which since 2012, regularly uses Brandram Community Centre on Sundays to serve the community.

This Centre has been a blessing to us after years of struggling to find a suitable and affordable venue in the local area. Our growing congregation of over sixty members ranges from young people to the elderly and this Centre has been a conduit in

helping us to connect with the local community and help them develop and build positive relationships together. Our Church members greatly value the services we provide, these include spreading the Gospel of JESUS CHRIST, providing Revival Concerts and opportunities for young people to learn and practice musical skills, we also organise and deliver Bible studies for all the community.

Brandram Community Centre is a community hub which enables people from all walks of life to positively engage with the community and hopefully make a difference; to close this invaluable facility would be a tragic loss for all.

I appreciate the financial constraints the council maybe working under, however as a dedicated user, we've found the management of the centre's resources to be excellent and the flexibility it offers to users is a real asset which would be too valuable to destroy.

I sincerely hope you will consider our full support of Brandram Community Centre staying open by way of this letter, along with our petition.

Yours faithfully,

Elder/Apostle Jacob D Abraham
Head of New Life Worldwide Apostolic Church

Email: newlifeworldwide@yahoo.co.uk

To whom it may concern,

As someone who is a founder and director of a grass roots community CIC, you will understand the catch 22 that I found myself in. As a CIC I cannot rely on funding from trusts and have to show that I am able to run projects through social enterprise. As a company we decided to do this through running soundbaths. We decided on using Brandram hall as it is a very friendly place at a reasonable rate of hire. Last year we secured funding from different trust/ funding (of about £6000) to deliver sound therapy and yr6 transition programs to young people and vulnerable

families in Lewisham. We invest in the community and run services for people who can pay so that we can deliver projects to people who cannot.

Any profit that our CIC makes goes back into our company so that we can continue to deliver projects. I ask you to think of the bigger picture when considering closure of the hall.

Kind regards

Nicola

Nicola Kelly and Bronagh Heaney

MWAH CIC

www.mwah-uk.org

[Like us on Facebook](#)

[Follow us on Twitter](#)

Brandram Road community Centre is a wonderfully welcoming space that hosts a versatile mix of classes and events for the Lewisham, Blackheath, Hither Green and Lee areas. Our space is well managed, clean, well heated and accessible to all with little immediate repairs needed.

Our community is offered a versatile mix of paid for, concession and free classes, dance, yoga, theatre, pilates and home education is available here. The bonds, friendships and support offered and made is testament to the necessity to keep this valued Community Centre open.

My students upon hearing that the centre had been marked for possible closure in April of 2016 have responded with the following emails.

This is where the great yoga is. It would be really sad to lose it, it's a great venue.

I have just signed the petition - it would be awful if it disappeared. Such a fantastic venue and so many memories....

I have attended Brandram Road Community Centre for 'mummy and baby classes' every week for over 9 months with my baby. It is a wonderful community place where many, many local new mums, like me, can meet and get to know each other. It really helped me to build a strong support group in a lovely, accessible place. I don't

know how I would have coped with the pressures of new motherhood without the yoga meetings at Brandram Road and my new friends, found there, would agree.
Poppy Cousins-Roe (local resident)

I have been going to the Brandram Road community centre for a year, attending first pregnancy and then mother and baby yoga. Having these classes run nearby in a safe, clean and welcoming space has been so important to me. During pregnancy I suffered from sciatica and various other pregnancy-related conditions which were really helped by being able to do yoga. And the centre became even more important after the birth of my baby as the yoga classes not only offered a gentle route back into exercise and physical well-being but also provided a place where new mums can get-together and share their experiences, avoid isolation and build friendships. The weekly yoga class became one of the highlights of my week and I now have a new group of friends as a result of going there. The community centre is just that - the centre of the community, and it would be a real loss if it were to close down.

Helen Agosti

I, Julie Adam, am a voluntary committee member at Brandram Road Community Centre and also hire the space to run Mummy and Baby Classes, Pregnancy Yoga Exercise Classes, Active Birthing Preparation Groups and Community Yoga Classes. This space is so very important to the Community and the students' health and wellbeing as you can see from the testimonials above. We use the power of yoga and breathing exercise to alleviate back pain, depression, anxiety, stress and many associated complaints during pregnancy and postnatal recovery which we all know to be common ailments and detrimental to one's health and a huge strain on the NHS. Not only do the classes offer support but nurture valuable friendships especially important for Mums to be and New Young Mums. The community groups range from 16 years to 70+ years in age.

Brandram Road Community Centre has offered our community a place of continuity and support through the years. In recent years when many have lost their jobs or during periods of convalescence and times of bereavement attending classes within a supportive community has helped with recovery. When faced as a result with difficulties financially classes have always been available with flexible payment options or free classes offered.

Please keep our Community Centre OPEN!

Julie Adam

Tel 07979 218 868 | julie.adam@hotmail.co.uk

I have been an administrator at the community centre since May 2014. I have been very aware of the finances needed to maintain this building and have tried my best to just spend from the associations bank account where needed particularly since the funding was so greatly reduced for repairs in February of this year. So to try to build up the bank account for unforeseen expenditures needed to maintain the building has been amongst one of the top priorities to keep the centre running smoothly. Also to hire out any spaces in the diary. We have many enquiries from people who want to hire the building for classes and for parties (Saturday afternoons) but we do not always have the times available. So there is a lot of interest and need from many people who want to use the centre. The closure of this centre would mean that many people would never have the opportunity of meeting with others again who have regularly met with at classes and events and it would prevent many future generations of using the hall for the same purpose of gaining knowledge from the many diverse classes on offer and of meeting with others at their local community centre.

Gaye Sturrock
Administrator
brandramhall@hotmail.com
07443 467253



I run Theatre tots ltd. We offer classes, shows, parties and published books for under 6's and their parents and carers. We have been using Brandram Road community centre for the last 5 years for our classes and shows.

As a company working with young children there are key features at Brandram road that no other community hall offers in the area. The parking is a big draw for our customers – from a safety and convenience point of view. We also have a few users with additional needs and the parking enables them to partake. The storage in the hall makes it possible for us to store equipment which is a rare bonus for any users. The hall is very well kept with baby change, committee room, equipped kitchen, stair gates and small garden area.

Over the past 5 years we have moved all of our sessions to Brandram Road community hall. Having used over 20 halls over London and more across the UK, Brandram road is one of the

best kept, best sized and well located spaces we have hired. Our customers often comment on the favourable size of the main hall and convenience of the location.

Brandram road is a rare community space that services a wide demographic from 0 – 99 with its diverse range of groups. Sandwiched between the estate and some more expensive housing and walkable from Lewisham, Hither Green, Lee and Blackheath It's one of the few local spaces that is suitable for a wide range of activities and customers.

As a private company we already struggle to find suitable spaces to run our sessions. Places are fully booked or not suitable. Brandram roads' full timetable confirms the demand and I am not sure where everyone would go. Without the spaces small businesses cannot operate successfully. There is already large opposition to increased housing in the area due to the pressure on essential services and this development would be very unpopular.

Laura Sydonie

Mountain of the Lord's House

This is an inter-denominational ministry that is committed to empowering people in a positive way in areas of:-

Evangelism: which is the core backbone of this ministry that meets every Wednesday to pray and daily outreach to remind people about who Christ is and what He stands for which are truth, love and charity. The greatest which is love that has become rare in our society today.

Youth: Bringing youth together and teaching them the importance of love, respect for themselves for their parents and the community at large. Teaching them to think positively, to become responsible citizens. Listening to them to share with us their concerns in terms of fear, rejection, peer – pressure, morals etc.

Marriages: Dealing with marital problems, counselling to resolve issues in homes. Teaching parents on how to relate with their children, especially those in their teens.

Intercede: In areas of prayers for our boroughs, nations and world at large.

Prison Ministry: Groups go to prisons to propagate the gospel of our Lord Jesus Christ. To give hope to the hopeless, teaching prisoners to become responsible citizens, listening to them to hear their views of what must have lead them to commit crimes. Helping to bring them back to Christ and reconciling them with their families.

Future Project: Opening a food bank to support families, and opening of a kitchen to feed the homeless and those that cannot afford decent food.

Home Education Group

This group has been meeting at Brandram Road Community Centre for many years. The premises are very useful for teaching the age range that attend. By having the use of the other small room at the centre the younger and older children can be catered for. Meeting there each week provides an ideal space for social interaction which is so very important for Home Educated children who really need a social venue to meet. Families of young ones feel that the outside space is safe as its enclosed and many outside activities have taken place for educational purposes. Planting and growing flowers, forest skills, worm digs to name but a few of the very many benefits children can experience when an outside space is available - which does not happen at most other venues. Some children have been attending for many years so the regular meeting here provides a social hub for friendship and learning activities and discussion time with other children. To close this centre would have a devastating effect on many families who rely on a regular place to meet that the centre provides.

Voluntary Sector Accommodation - Response to consultation

As part of the further consultation on proposed closures and redevelopments of community centres, we would like to include information on current centre activities and users, along with your response in the report back to Safer Stronger Select Committee and Mayor and Cabinet.

Community Centre: BRANDRAM ROAD COMMUNITY CENTRE

Day	Group/ user	Type of session/ activity	Number of users/ attendees	Types of users	Session fees/ charges	Additional requirements/ user restrictions
<i>Example: Monday</i>	<i>Dance ltd</i>	<i>Line dancing class</i>	15	Older people (aged 50+)	£5 per session	Some limited mobility users
Monday	Drop in club for the over 60's	An opportunity to meet your neighbours, share interests and meet new friends.	No regular attendees as yet	Age 60 +	Free to attend	Some limited mobility users
Monday	Community Events: Gaye Sturrock - Tutor of the London Centre of Indian Champusage International	Indian Head Massage Workshop. Learn a simple routine that is highly effective in combatting stress. This class gives you the chance to try out the seated massage (through clothes) of the shoulders head & neck. 4 weeks	10	Age 18 and over	Free to attend	Free parking at the centre makes a class/event more appealing and means that more people can attend.
Monday	Davies School of Dance Ann Davies	Ballet & Tap - Established for over 20 years. Davies School of Dance offers a range of dance classes for children of school age, ranging from Tap & Ballet	11	Ages 3 - 16	£4 per session Fees are deliberately kept low to enable children from a wide range of backgrounds to	Parking is very convenient as equipment needs to be carried in. It's also very

Voluntary Sector Accommodation - Response to consultation

		<p>to Street Dance. Ann Davies has trained with the Royal Ballet & is a fully qualified & experienced teacher. Examinations in IDTA offered with a 100% pass rate. Every year your child will perform on our annual show designed to showcase their skills & build their confidence. Past pupils have moved on to further study at the Brits & have even performed in West End shows.</p>	16			<p>attend. Free trial sessions are offered along with free classes during the lead up to the students taking their dance exams.</p>	<p>useful for parents and children.</p>
<p>Monday</p>	<p>Yoga – Hatha - All Levels Sarah Hanks (18.45)</p>	<p>A class that focuses on improving well-being physical and mental. Physical work benefits, stability, mobility and strength. Classes always include a period of meditation and rest. People often begin yoga as they have an injury or problem, i.e. a bad back. Yoga has been demonstrated in a NHS and British Wheel of Yoga study to benefit back pain.</p>	16	<p>Wide range of ages, 18-70's. Mixed gender.</p>	<p>£12 per class or £7 for concessions. (this is the same as doing a yoga class at a local authority gym)</p>	<p>Parking is a premium for all regular user groups of Brandram Hall</p>	

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Monday	Yoga For You Sarah Hanks (20.00)	Postures in a flowing sequence YOGA Level 2. A class that focuses on improving well-being physical and mental. Physical work benefits, stability, mobility and strength. Classes always include a period of meditation and rest. Fundraiser in Jan 2015 for Lewisham Foodbank TRessel Trust and raised £550+	10	Wide range of ages, 18-70's. Mixed gender.	£12 per class or £7 for concessions (this is the same as doing a yoga class at a local authority gym)	Parking is a premium for all regular user groups of Brandram Hall
Tuesday	Theatre Tots Laura Sydonie	Theatre tots offers drama session for early years children and their parents and carers. Following themes and using songs, dance and stories Theatre tots explores early imaginations. The storage in the hall makes it possible for us to store equipment which is a rare bonus for any users. The hall is very well kept with baby change, committee room, equipped kitchen, stair gates and	15 children and their carers	Ages 0 – 5	£6 per class Theatre Tots offers siblings 10% discount and we are inclusive to children with additional needs. So if a child needs support we cover the cost to enable them to join in. In the past this has included blind, deaf children as well as children in the autistic spectrum.	The parking is a big draw for our customers – from a safety and convenience point of view. We also have a few users with additional needs and the parking enables them to partake.

Voluntary Sector Accommodation - Response to consultation

Tuesday	Theatre Tots Laura Sydonie	small garden area. Theatre tots offers drama session for early years children and their parents and carers. Following themes and using songs, dance and stories Theatre tots explores early imaginations. The storage in the hall makes it possible for us to store equipment which is a rare bonus for any users. The hall is very well kept with baby change, committee room, equipped kitchen, stair gates and small garden area.	15 children and their carers	Ages 0 - 5	£6 per class Theatre Tots offers siblings 10% discount and we are inclusive to children with additional needs. So if a child needs support we cover the cost to enable them to join in. In the past this has included blind, deaf children as well as children in the autistic spectrum.	The parking is a big draw for our customers – from a safety and convenience point of view. We also have a few users with additional needs and the parking enables them to partake.
Tuesday	Helen O'Grady Drama Academy Neil O'Gorman	The prime aim of the Academy as well as developing creative skills, is to use drama to develop the vital life skills children need in order to have the best possible start in life. We have been developing their confidence, self-esteem & communication skills for nearly 20 years at Brandram Road Community Centre	45 Children spread across three one hour time slots.	Ages 5 - 18	£8.50, with concessions for siblings. We also offer scholarship places to local schools for pupils they feel would benefit, but would otherwise be unable to afford it.	N/A
Tuesday	Pilates	Intermediate/Advanced. Improves health & well-	20	Age 20 – 80 +	£12 per session	Car park is very useful for

Voluntary Sector Accommodation - Response to consultation

	<p>Nicole Gatter</p>	<p>being for all ages, Particularly those suffering from long-term back/neck pain & can also be successful in helping with chronic conditions such as MS, Asthma & Hyper Mobility, potentially reducing the demand on the NHS. A valuable service for the elderly, helping to remain active & improve strength, mobility, independence & building a network of friends. Pilates is excellent for both physical & mental wellbeing for the community</p>				<p>clients who have mobility problems as space to park is hard to find outside and close to the community centre</p>
<p>Wednesday</p>	<p>Mountain of the Lord's House Prayer Meeting</p>	<p>Inter-denominational ministry committed to helping people in positive ways through Evangelism, to pray & daily outreach. Bringing youth together, teaching the importance of love, respect for themselves & their parents. Marriages: Dealing with marital problems through counselling. Teaching parents how to relate with their children,</p>	<p>18</p>	<p>10 women 8 men Ages 35 – 64</p>	<p>Free of charge</p>	<p>Free parking space is very valuable for those who have very little money</p>

Voluntary Sector Accommodation - Response to consultation

Wednesday	Davies School of Dance Ann Davies	especially those in their teens. Give hope to the hopeless, teaching prisoners to become responsible citizens, by listening to their views of what lead them to commit a crime. Help bring them back to Christ & reconciling them with their families.	16	Ages 3 - 16	£4 per session Fees are deliberately kept low to enable children from a wide range of backgrounds to attend. Free trial sessions are offered along with free classes during the lead up to the students taking their dance exams.	Parking is very convenient as equipment needs to be carried in. It's also very useful for parents and children.
Wednesday	Hatha Yoga	Ideal for beginners. A class that focuses on improving	20	Wide range of ages, 18-70's.	£12 per class or £7 for concessions	Parking is a premium for

Voluntary Sector Accommodation - Response to consultation

	Sarah Hanks	well-being physical and mental. Physical work benefits, stability, mobility and strength. Classes always include a period of meditation and rest. People often begin yoga as they have an injury or problem, i.e. a bad back. Yoga has been demonstrated in a NHS and British Wheel of Yoga study to benefit back pain. Fundraiser in Jan 2015 for Lewisham Foodbank TRessel Trust and raised £550+		Mixed gender.	(this is the same as doing a yoga class at a local authority gym)	all regular user groups of Brandram Hall
Thursday	Home Education Emma Kendall	This group has been meeting at Brandram Road Community Centre for many years. By having the use of the small room as well as the main hall the younger & older children can be catered for. Home Educated children benefit from having a social venue to meet. Families of young ones feel the outside space is safe as it is enclosed & many outside activities have taken place. Planting, growing flowers, forest	10 families (minimum)	Age range 0 - 11	£3 per family (no concessions, no free places	The outside enclosed space provides invaluable benefits for the children's education and safety.

Voluntary Sector Accommodation - Response to consultation

Thursday	Theatre Tots Laura Sydonie	skills, worm-digs to name but a few of the many great educational experiences when an outside space is available. Some children have been attending for many years so the regular meeting provides a social hub for friendship & learning activities plus valuable discussion time with other children.	15 children and their carers	Ages 0 -5	£6 per class Theatre Tots offers siblings 10% discount and we are inclusive to children with additional needs. So if a child needs support we cover the cost to enable them to join in. In the past this has included blind, deaf children as well as children in the autistic spectrum.	The parking is a big draw for our customers – from a safety and convenience point of view. We also have a few users with additional needs and the parking enables them to partake.
Thursday	Pilates Nicole Gatter	Intermediate/Advanced. Improves health & well-being for all ages,	20	Ages 20 – 80+	£12 per session	Car park is very useful for clients who

Voluntary Sector Accommodation - Response to consultation

		<p>Particularly those suffering from long-term back/neck pain & can also be successful in helping with chronic conditions such as MS, Asthma & Hyper Mobility, potentially reducing the demand on the NHS. A valuable service for the elderly, helping to remain active & improve strength, mobility, independence & building a network of friends. Pilates is excellent for both physical & mental wellbeing for the community</p>	<p>15 children and their carers</p>		<p>have mobility problems as space to park is hard to find outside and close to the community centre</p>
<p>Friday</p>	<p>Theatre Tots Laura Sydonie</p>	<p>Theatre tots offers drama session for early years children and their parents and carers. Following themes and using songs, dance and stories Theatre tots explores early imaginations. The storage in the hall makes it possible for us to store equipment which is a rare bonus for any users. The hall is very well kept with baby change, committee room, equipped</p>	<p>Ages 0 - 5</p>	<p>£6 per class Theatre Tots offers siblings 10% discount and we are inclusive to children with additional needs. So if a child needs support we cover the cost to enable them to join in. In the past this has included blind, deaf children as well as children in the autistic spectrum.</p>	<p>The parking is a big draw for our customers – from a safety and convenience point of view. We also have a few users with additional needs and the parking enables them to partake.</p>

Voluntary Sector Accommodation - Response to consultation

Friday	Mummy & Baby Yoga – New Born to pre-crawling. Julie Adam	kitchen, stair gates and small garden area. To help mums regain strength & muscle tone. Sensory work for your little one through laughter, song & play. Improve digestion for both Mummy and Baby. WE finish with a period of relaxation followed by a well earned cup of tea & the opportunity to meet the community of New Mums in the Blackheath, Lewisham, Hither Green & Lee area	15 – 20 Mummies and 15 -20 Babies (currently 20 in this group due to the new baby boom!)	Mummies ages 18 – 45. Babies range from 4 weeks to 9 months. Mixed Ethnic group	£69 for 6 sessions used over a flexible 7 week course. £11.50 per class Concession rate: offered to low income households. £42 for the course. £6 per class Free places available	Space for buggies or parking facilities needed for Mum's with back/weak abdominal muscles.
Friday	Gardening Project The Local Community	Drop in for total beginners to the experienced. Help to grow a variety of flowers & vegetables for each season & share your expertise of gardening with others to pick up tips to help gain knowledge. These well supported poses allow you to linger quietly for a time & assist your parasympathetic and system to reduce stress levels & support the healing and nurturing process. WE finish with	No regular attendees as yet		Free to attend	
Friday	Restorative Yoga Julie Adam		10 – 12 students	Wide range of ages, from 16 – 70+ Mixed gender class	£20 which includes fresh soup, bread + butter after class. Concession rate: £10 Free places available	Accessible parking facilities needed

Voluntary Sector Accommodation - Response to consultation

Friday	<p>Conquerors Covenant Saints Ministries – Faith Group</p> <p>Victor Charles-Ayuto</p>	<p>soup & the opportunity to get to know you yoga community in the area. Suitable for everyone.</p>	10 - 15	Wide range of ages	No Charge but requested donations from well wishers	The car park is essential for wheel chair users and makes getting into the hall a lot easier.
	<p>In these days of financial stresses & deep depression, help & encouragement is one of the best things that we can do for each other. We seek fresh ideas on how to help our community to help each other. We seek fresh ideas on how to help our community to help families & individuals. A great deal of outreach happens to help people in a variety of ways.</p> <p>A Little about Us: We are committed to helping each other grow in Our Christian faith and in our worship and service of God. We believe that people need Jesus and as a church we have found that faith in him makes a difference in</p>					

Voluntary Sector Accommodation - Response to consultation

			our everyday lives. Our Vision: To be a church that demonstrates the reality of God's love and power so that we can impact the community around us and the world.					
Friday	Sound Bath Nicola Kelly		A beautiful deep meditation experience that uses ancient instruments from around the world. This unique experience can help you release stress and feel more energised happier and uplifted.	No regular attendees as yet		£10 per class	Car park is a bonus	
Friday	Sound Therapy Sarah Hanks		Suitable for everyone. A 2 hour session of sound therapy where people have the opportunity to relax. It is especially helpful to those who feel stressed and over whelmed and want to make a positive change in their mind set. Regular attenders report that it improves sleep, reduces anxiety and stress. This class is for all & focuses on improving	20	Wide range of ages, 18-70's. Mixed gender.	Concession is £15 (no free places as they are not viable)	Parking is a premium for all regular user groups of Brandram Hall	
Saturday	Community Yoga			8 - 16 students	Wide range of ages from 16 -	£12 drop in fee. No pre-booking required	Accessible parking	

Voluntary Sector Accommodation - Response to consultation

Julie Adam	flexibility & developing strength. We finish with a period of deep relaxation. Suitable for everyone! This lovely group ranges from 16 – 70+ years in age.	14 – 16 students	70+ Mixed gender class	Session rate: £7 Free places available	facilities needed
Pregnancy Yoga Julie Adam	Bring energy, peace & balance into your pregnancy & prepare for the birth of your baby. This lovely class offers you the opportunity to meet other pregnant ladies in your community & the support that this can offer!	18 – 45 + Mixed ethnic group	Age ranges from 18 – 45 + Mixed ethnic group	£60 for 5 sessions with flexible 7 weeks to use. Concession rate: £35 for 5 sessions with a flexible 7 weeks to use.	Accessible parking facilities needed as students pregnant students attend classes from 12/15 weeks and up to and including 41 + 6 weeks pregnant
Active Birthing Workshop with partners Julie Adam	These one-off two hour sessions are designed to help prepare you & your birthing partner for labour & the birth of your baby in a fun & informative way. Covering active birthing positions, breathing, visualization & massage techniques & ways your partner can support you through labour.	Maximum 5 couples	18 – 45 + Mixed Ethnic group	£90 for a one-off two hour session Concession rate: £35 Free places available	Accessible parking facilities needed as students attend from 32 weeks and up to and including 40 weeks pregnant
Saturday	Children's Parties / Events	Often full	All ages attend	In the past parties went on	The car park is

Voluntary Sector Accommodation - Response to consultation

		and is ideal for children's parties. People love the fact that the hall is not too big or too small and has a very welcoming feel because of this.	use of halls capacity	as children's parties brings families and friends together.	until late at weekends, but now parties stop at 6pm. This has been in place for the last year or so and has ensured better relationships with the neighbours living in close proximity to Brandram Hall.	a great help when bringing in anything from cars for the party or event.
Saturday	Charity fund raising events	This time is used (where diary permits) for fund raising events for charities, and have been to raise money for British Heart Foundation & Dementia UK, and have included events for parents with children to enjoy. Events such as painting competitions have taken place that provides some entertainment and a meeting place for local residents.		All ages. A time for the community to help others less fortunate than themselves, providing a great community spirit.		The outside space provides extra possibilities for fund raising ideas.
Sunday	Conquerors Covenant Saints Minsistries Victor Charles-Ayuto	In these days of financial stresses & deep depression, help & encouragement is one of the best things that we can do for each other. We seek fresh ideas on how to help our community to help each other. We seek fresh	20 - 25	Wide range of ages	No Charge but requested donations from well wishers	The car park is essential for wheel chair users and makes getting into the hall a lot easier.

Voluntary Sector Accommodation - Response to consultation

		<p>ideas on how to help our community to help families & individuals. A great deal of outreach happens to help people in a variety of ways. A Little about Us: We are committed to helping each other grow in Our Christian faith and in our worship and service of God. We believe that people need Jesus and as a church we have found that faith in him makes a difference in our everyday lives.</p> <p>Our Vision: To be a church that demonstrates the reality of God's love and power so that we can impact the community around us and the world.</p>	10 regular members	Mixed ages young to elderly	Guests are welcomed for free.	
Sunday	Faith Group Andre Gabriel	This welcoming Faith Group has been meeting at this venue for 30 years. Regular members pay a small subscription to cover the hall hire costs.				The car park is essential for wheel chair users and makes getting into the hall a lot easier.

Voluntary Sector Accommodation - Response to consultation

Sunday	Tamil Community & Youth Centre Arts & Sports Activities Alfred Venthakone	We organise sports activities, poetry & chess competitions every year. We fortnightly meet on Sundays to discuss issues that affect the community with a professional or experienced person present. Such as the importance of parents understanding their children in the newly adopted environment, women's education & empowerment, parenting, physical & mental health issues.	10 – 25 on normal days And More on special days	Parents and children	Members are not charged for attending sessions. But some senior members contribute towards hiring the hall on Sundays	Valuable outdoor sports activity space is available at Brandram Road Community Centre
Sunday	New Life World Apostolic Church Jacob Abraham	This is a multi-cultural Church that regularly uses the centre to serve the community. The Centre has been a conduit in helping us connect with local community, develop & build positive relationships. Members greatly value the services, these include spreading the Gospel of JESUS CHRIST, Revival Concerts and opportunities	15 – 20 + some children (varies)	10 females & 5 – 10 males Young to elderly	No charge	Some members use the car park which is so convenient

Voluntary Sector Accommodation - Response to consultation

<p>Sunday</p>	<p>Chakradance Christine Wykes-Driver</p>	<p>for young people to learn & practice musical skills. We also organise and deliver Bible studies for all the community.</p>	<p>No regular attendees as yet</p>	<p>£10 per class Concessions £5</p>	<p>Wheel chair users are welcome for this event and the use of the car park is very helpful</p>
		<p>Free style Dance Meditation to Music. CHAKRADANCE is a dance practice for body and soul. It's a powerful experience that will free and energize you. It combines spontaneous dance, guided imagery and music to promote that wonderful state of calm vitality known as "wellbeing".</p>			

Representation re closure/redevelopment of Brandram Road Community Centre (BRCC) 25-33 Brandram Road, London SE13 5ET.

Any proposed redevelopment of the Brandram Road Community Centre (BRCC) and the site on which it is located is subject to certain extremely sensitive considerations which relate to (a) the building itself and (b) the site's location.

The Building

- **The BRCC (1978) was designed by the award-winning architect, Royston Summers (1931-2012)**

Please see the supporting document (1) *Royston Summers Obituary RIBA Journal* for an overview of Mr Summers' work.

Royston Summers lived and worked locally in the Borough of Lewisham, and completed several projects for Lewisham Council during the 1960s and 1970s.

- **Buildings designed by Royston Summers are already on Lewisham Council's Local List**

Lewisham Council has only two sites from the 1960s and 1970s on its Local List. A group of seven houses fronting the Heath designed by Royston Summers, North Several (1963) is one of the two.

Please see supporting document (2) *North Several, Blackheath - Local List Appraisal*.

- **Buildings designed by Royston Summers elsewhere in England are subject to statutory protection**

In 2013, Elmbridge Council deemed Riverside Drive (designed 1968-69, built 1971-78) in Esher as a Conservation Area in its own right. English Heritage wrote: 'an exceptional and probably unique post-war development [...].'

Please see supporting document (3) *Lakeside Drive CA*.

- **Strong and distinctive architectural detailing**

Many of the features of both North Several and Riverside Drive are present on the Brandram Road Community Centre.

In addition to an intact exterior, its interior also remains very much largely as built.

Please see attached documents for various photographs of the site, both exterior and interior:

(4) BRCC - front elevation

(5) BRCC - side and rear elevation

(6) BRCC - windows and wood panelling

(7) BRCC - foyer and flooring

- **Historic England and The Twentieth Century Society**

With all of the above in mind, recent representations regarding BRCC have been made to both Historic England and The Twentieth Century Society.

Lewisham Conservation are likewise being consulted.

The Site's Location

The Brandram Road Community Centre is located on an extremely sensitive site in terms of any proposed redevelopment.

- **The BRCC is located within the Blackheath Conservation Area**

The site was incorporated into the BCA in April 1978, and the Centre received its planning permission in October 1978.

Please see supporting documents *(8) Brandram Road conservation area notice* and *(9) BRCC planning permission notice*.

- The BRCC is located in a sub division of the BCA denoted a Character Area

It is bordered on two sides by 'Buildings making a positive contribution' to the Character Area.

Please see supporting document (10) *Blackheath CA Appraisal* (pp74-75)

- The BRCC has a Grade II listed boundary wall

The site is directly adjacent to the Grade II listed Merchant Taylors' Almshouses (listed March 1973), which have a Grade I listed chapel within their grounds.

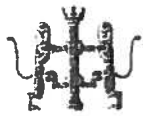
It is deemed likely that any redevelopment of the BRCC site would therefore require Listed Building Consent.

The Surveyor of the Merchant Taylors' Company has requested he be kept informed of any redevelopment proposals accordingly.

Summary

The Brandram Road Community Centre is a building of quality in terms of both its design and the materials used. Other buildings designed by its award-winning architect have already been deemed to merit both protection and recognition.

The building, by virtue of its distinctive yet subservient design with respect to adjacent buildings, makes a positive contribution to the streetscape in an extremely sensitive location.



OBITUARY



ROYSTON SUMMERS 1931-2012

Clever, thorough, multiple medal winner who lived the contradictory highs and lows of small practice

IN 1969 ROYSTON SUMMERS went to the RIBA to collect his medal for Good Design in Housing from the housing minister, Tony Benn. After receiving the award for his North Several terraces in Blackheath, he set off to collect his dole money. Such are the vagaries of life in a small architectural practice.

Roy was born in Wolverhampton and after National Service in the Intelligence Corps in Germany, he went to Downing College, Cambridge. Here he read classics for two years before switching to English under Frank Leavis. He graduated in 1954.

After an unsuccessful six months as a trainee with John Lewis – sacked for telling customers what they ought to like – Roy joined the Architectural Association School of Architecture. Five years later he joined the architectural department of Cornwall County Council as part of the team responsible for New County Hall in Truro (Grade 2 listed in 1997), designing a range of office furniture that later went into commercial production. His

first solo job was a new library in Saltash.

In 1964 he set up his own practice in Blackheath, London. North Several was his first project to attract attention, a group of terraced houses on the edge of Blackheath. It was built by a company formed by the proposed residents (including Summers) and had a communal garden, and the carpets, tiling, sanitary ware, kitchen cupboards, bedroom cupboards etc were identical throughout the houses to save money. The wall panelling was the same plywood as used in storage boxes. The solar gain was calculated over a weekend by Ove Arup in a very early use of computers. The houses cost the same per sq ft as the council housing of the time, though they were much bigger.

Other housing schemes followed, notably the prestigious, low-density Lakeside Drive, in Esher, Surrey, which won the RIBA Architecture Award in 1976 and the DoE Medal and Diploma for Good Design in 1980.

Roy then worked for Lambeth Borough Council, designing 52-storey tower blocks to tackle Brixton's terrible housing problems (the experience formed the basis of *Benefactors*, a play by his friend and North Several neighbour Michael Frayn). The flats were never built.

He completed projects for the London Borough of Lewisham, including the first-ever solar-heated council flats, which won a Chartered Institute of Building Services commendation for energy use in 1982.

Refurbishments also came to him – a chateau in France, the Bishop's Palace at Winchester, a couple of Grade 2 Diocesan houses, restoration and conversion of Redlynch Park (Grade 2). He worked briefly in Qatar and Mallorca on houses and his last job was a delightful private house in Bromley.

Roy was an excellent planner, meticulous and obsessional, passionate about proportions, use of space, appropriate materials and always aiming for the best possible result. And if you did not agree with him he would go on arguing until you gave in.

Married in 1957 to Elizabeth Forster, Roy had four children, who survive him. As long as he was able, he pursued his passions of mountaineering, walking, photography, and gardening. After a long illness he died peacefully on 30 May 2012 in Bristol. ■

IN MEMORIAM

Burt James Leslie Hagger, elected 1951, Bedford
Gordon Victor Charles, elected 1934, London
Walter Flett Faulds, elected 1950, Anstruther, Fife
Leslie Arthur Gear, elected 1950, Hempton, Norfolk
Stewart Faulkner Peck, elected 1952, Dorking, Surrey
Anthony Charles Whitwood, elected 1965, Norwich
George Anthony Wilson Brandreth, elected 1948, Weybnd
Harry Marshall Fairhurst, elected 1949, Wilmslow, Cheshire
John Elwyn Donald, Griffiths, elected 1960, Aberystwyth
Rodney Herbert Taylor, elected 1958, Reading
William Chalmers Thomson, elected 1950
Derek Hawes Richards, elected 1960, Tonbridge, Kent
Frank Richard Walters, elected 1956, Sutton-in-Ashfield, Nc
John Alfred Williams, elected 1955, Neston, Cheshire
Barbara Mary Beresford, elected 1940, Kendal, Cumbria
Patrick John Bishop, elected 1960, Altrincham, Cheshire
Kenneth Harvey Bolton, elected 1951
Bryn Royston-Williams, elected 1942, London
John Drury Meade Taylor, elected 1947, Moreton-in-Mars
Kenneth Arthur Coombs, elected 1956, Lewes, East Suss
Terence Lancelot Ellard, elected 1956, Worcester
John Williams, elected 1961, Jersey
Anthony Cave-Browne-Cave, elected 1954, Salop
John Frederick Gray Benfleet, elected 1963, Essex
Raymond John Hey, elected 1949, Oxford
Kenneth Wilson Mellor, elected 1950, York
Edwin Arthur Mountford, elected 1950, Stoke-on-Trent
Gerald Lou Allison, elected 1972, Corona Del Mar, Califor
Lewis Bernard Henry Cremer, elected 1936, Sittingbourne, K
Robert Ragland Meadows, elected 1939, London
Alan Herbert Ross, elected 1955, Budleigh Salterton, Dev
John Hartley Snowden, elected 1952, Kenilworth, Warwick
George Trevenen Wilson, elected 1951, Sherborne, Dorset
Clive Terry Breakspeare, elected 1972, Oakham, Rutland
Lawrence Albert Butterfield, elected 1942, Salisbury
Richard De'ath, elected 1983, Helensburgh, Dunbarton
Hilary Lewis, elected 1932, Victoria, Australia
Thomas Barron, elected 1961, Penarth, South Glamorgan
Harry Brian Jackman, elected 1954, Leeds
Richard Granlley Fitzhardinge, elected 1955, NSW, Aust
Merryn Asenath Wiles, elected 1982, Cardiff
Cornelius Brendan Minney, elected 1971, Swansea
Ernest Cooper Walkinson, elected 1962, Newcastle upon
Maurice James Walton, Northampton, elected 1954

To inform the RIBA of the death of a member, please email membership.services@riba.org with details of next of kin

Conservation Area
Deptford High Street Conservation Area

Brief Description

Built in 1897, this is a large and attractive pub that sits facing down Deptford High St from Evelyn Street. It is astride the two junctions with New King Street and Watergate Street and has been designed to address these streets as well. It makes a handsome contribution to the streetscape.

The pub is in an ornate classical style with Baroque influences and is rendered to the upper floors with an unusual pink marble pub frontage. The roof is a dummy mansard which falls to a simple pitched roof to the rear. There are two ornate dormers to the roof with a circular window to one and a tablet of a harp to the other. There is an ornate frieze that wraps around the building at eaves levels. The first floor windows have decorative pediments and the proportions reveal a generously proportioned rooms internally. To the ground floor the two original entrances have been converted into windows but the pediments above the fascias revealing the original locations. All the original timber windows remain to the upper floors.

This building meets the Local List criteria for local architectural and local historic interest.

Blackhoath Conservation Area

Houses. 1963. By Royston Summers. Concrete frame, brick and glass. Three storey, one full-width, floor to ceiling bay of nine lights. Plain brick elevation to side. Box metal window framing comprised of storey-height mullions and single balustrade-height transom. Flat roof. Open-plan interior. Pure Modern style. Intentioned departure from - and resulting contrast with - surrounding context. Conscious distinction between strong linear quality of buildings with soft landscaping of collectively managed communal gardens. Co-operative experiment between playwright and journalist Michael Frayn and six other families. Of group value. Corner location with aspects north and east over Heath.

Telegraph Hill Conservation Area

1894 Simple Gothic style church built of rubblestone with ashlar dressings. Saint Catherine is the patron saint of haberdashers. Rebuilt 1913 after a fire and again after bomb damage in 1940.

Telegraph Hill Conservation Area

1875 Group of fine Gothic Revival style school buildings in stock brick with red brick and stone detailing. Main building is two storeys in symmetrical design with a central square tower rising up from the entrance. Sleep hipped and gabled slate roofs and east wall timber sash windows. Chapel to east has hipped slate roof, central porch to east with stone carving over and Early English style tracery windows. Built for the Worshipful Company of Haberdashers using an endowment given by their member, Robert Aske. It became a boy's school after the girls moved to the 1890 building at the bottom of Jerningham Road. The statue of Robert Aske in the forecourt is statutorily listed (Grade II).

Name / Number

The Harp, 2 - 4

Street / Road

New King Street

1 to 7

North Soveral

Church of St Catherine

Pepys Road

Haberdasher's Aske's Hatcham College (former boys' school)

Pepys Road / Vestia Road

Lakeside Drive Conservation Area Character Appraisal & Management Plan



Elmbridge
Borough Council

... bridging the communities ...

FORUM Heritage Services

This document has been written and
illustrated on behalf of
Elmbridge Borough Council by
Forum Heritage Services
Telephone: 01258 450542
Email: enquiries@forumheritage.co.uk

Front cover: No.5 Lakeside Drive within its lake setting
Back cover: 1914 Ordnance survey map

Lakeside Drive Conservation Area Character Appraisal & Management Plan

This document was commissioned by the Heritage Section, Planning Services, Elmbridge Borough Council as part of its statutory duty as a local planning authority to consider designation, review, protection and management of conservation areas. The designation of this new conservation area follows requests by the Lakeside Drive Residents Association for consideration of Lakeside Drive as a conservation area.

An investigation into the potential for conservation area designation was carried out between May and July 2013 and formed the basis for the production of this Character Appraisal and Management Plan document. Community involvement is essential in understanding the special nature and different issues for each conservation area. This document has been produced through collaborative working by the Lakeside Drive Working Group which included local residents, the Esher Conservation Area Advisory Committee, the Surrey Gardens Trust and officers from Elmbridge Borough Council. Forum Heritage Services were appointed as heritage consultants to facilitate the project, organise the workshops and co-ordinate and produce the Character Appraisal and Management Plan [CAMP] document.

The document was the subject of wider public consultation for a six week period commencing on 9th September 2013. The comments received informed the final document which was considered by Elmbridge Borough Council's Planning Committee on 26th November 2013 and the decision was taken to designate Lakeside Drive as a new conservation area and to endorse the Appraisal document.

This document will be a material consideration with regards to the implementation of the Elmbridge Local Plan as a basis for understanding the area, informing decision making, monitoring and management. It will be the subject of periodic future review providing the opportunity to take account of new planning policy as it arises.

The document is available in PDF format on the Council's website www.elmbridge.gov.uk/heritage and to purchase in printed form from Elmbridge Borough Council.

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- (d) Geology

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- Appendix 1: Landscape Development and context report
- Appendix 2: RIBA Certificate of Commendation
- Appendix 3: A brief overview of the Modern Movement
- Appendix 4: Guidelines for new development
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Maps and aerial photos

- Aerial photograph
- Historic Maps
- Photographs
- Townscape analysis map

Assessment of Special Character

1 Introduction

Lakeside Drive was built in the 1970s to an award winning design by the architect Royston Summers and was one of his most prestigious projects. The estate comprises of 16 detached houses built to a modular design system but each one is individual and unique. The development is set around a lake, which originally formed part of an eighteenth century landscape estate, and within a mature landscape.

This conservation area was designated by Elmbridge Borough Council on 26th November 2013. Conservation areas are designated under the provisions of Section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990. A conservation area is defined as "an area of special architectural or historic interest the character or appearance of which it is desirable to preserve or enhance". Section 71 of the same Act requires local planning authorities to formulate and publish proposals for the preservation and enhancement of these conservation areas. Section 72 also specifies that, in making a decision on an application for development in a conservation area, special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.

In response to these statutory requirements, this document defines and records the special architectural and historic interest of the conservation areas and identifies opportunities for enhancement. It is in conformity with English Heritage guidance as set out in 'Understanding Place, Conservation Designation, Appraisal and Management (March 2011)'.

This document seeks to:

- Define the special interest of the conservation areas and identify the issues which threaten the special qualities of the conservation area (in the form of the "Appraisal");
- Provide guidelines to prevent harm and achieve enhancement (in the form of a "Management Plan").

This document therefore provides a firm basis on which applications for development within the Lakeside Drive Conservation Area can be assessed. It should be read in conjunction with NPPF policies and English Heritage Guidance. In addition it should be read in conjunction with the Elmbridge Local Plan. Currently this includes the Elmbridge Core Strategy (2011) of which policies CS3, CS12, CS14 and CS17 are particularly relevant, saved policies in the Replacement Elmbridge Borough Local Plan (2000) particularly Chapters 7,8 and 10 and the Elmbridge Design and Character Supplementary Planning Document (2012). Saved policies will be superseded by the forthcoming Development Management Plan due to be formally adopted in 2014.



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Provided by Elinoridge Borough Council

Figure 1: Aerial photo of Lakeside Drive (2010)

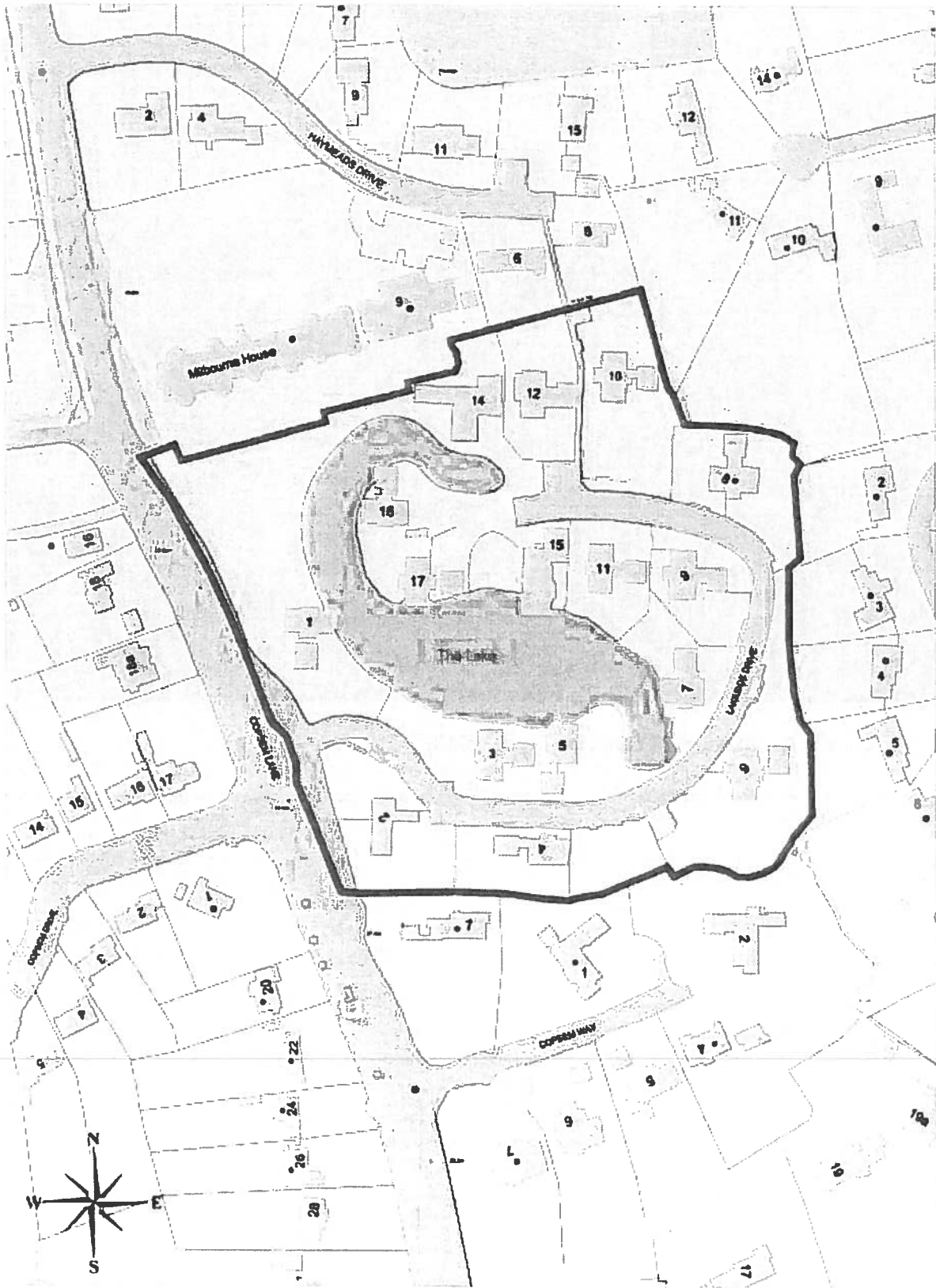


Figure 2: Lakeside Drive and the conservation area boundary highlighted in red

2 Location and Setting

(a) Location

Lakeside Drive is located approximately 1km south of Esher in Surrey. It is a single access road to the east side of Copsem Lane. To the north is Milborne Lodge, a much extended 18th century former house now converted to apartments, which is also a locally listed building. To the west, on the other side of the Copsem Lane, lies Claremont Park and surviving farm and outbuildings relating to the estate; namely Tawny House, a former estate laundry, later private house, circa 1740, part of William Kent's improvements at Claremont, Home Farm House, a former 18th century stable now converted and sub-divided and Claremont Barn, 1720 by John Vanbrugh, now a house. All of these are Grade II listed buildings. There is also an early 18th century stone obelisk which is Grade II* listed. This building group is now partly subsumed in low density suburban development.

(b) Boundaries

The conservation area boundary shown in Figure 2 follows the property boundaries of the 16 houses which make up the full extent of Lakeside Drive. It is bounded by the communal grounds of Milborne Lodge to the north, the generous grounds of properties to High Garth and Orchard Way to the east and north-east, the gardens of houses to Copsem Way to the south and Copsem Lane to the west.

(c) Topography and landscape setting

The topography is generally flat with very little variation in level across the site. The most distinctive landscape feature is the lake which is central to the development and is glimpsed and viewed from a number of places within the development. There are a large number of mature trees of various species within the development which form part of the landscape setting of most houses.

(d) Geology

The geology of the Lakeside Drive area in common with other areas of former open space around the town centre comprises predominantly the damp clay soils of the Claygate Beds and acidic soils of the Bagshot Beds and Plateau Gravels with peat on top. The terrain is lowland heath, formerly predominantly covered by woodland, including both deciduous and coniferous trees, notably oak, beech, silver birch, birch and Scots Pine. These areas were not always wooded, and much of the area was formerly open heathland used as common grazing land. It has not been grazed for many years and secondary woodland has grown over much of the area.

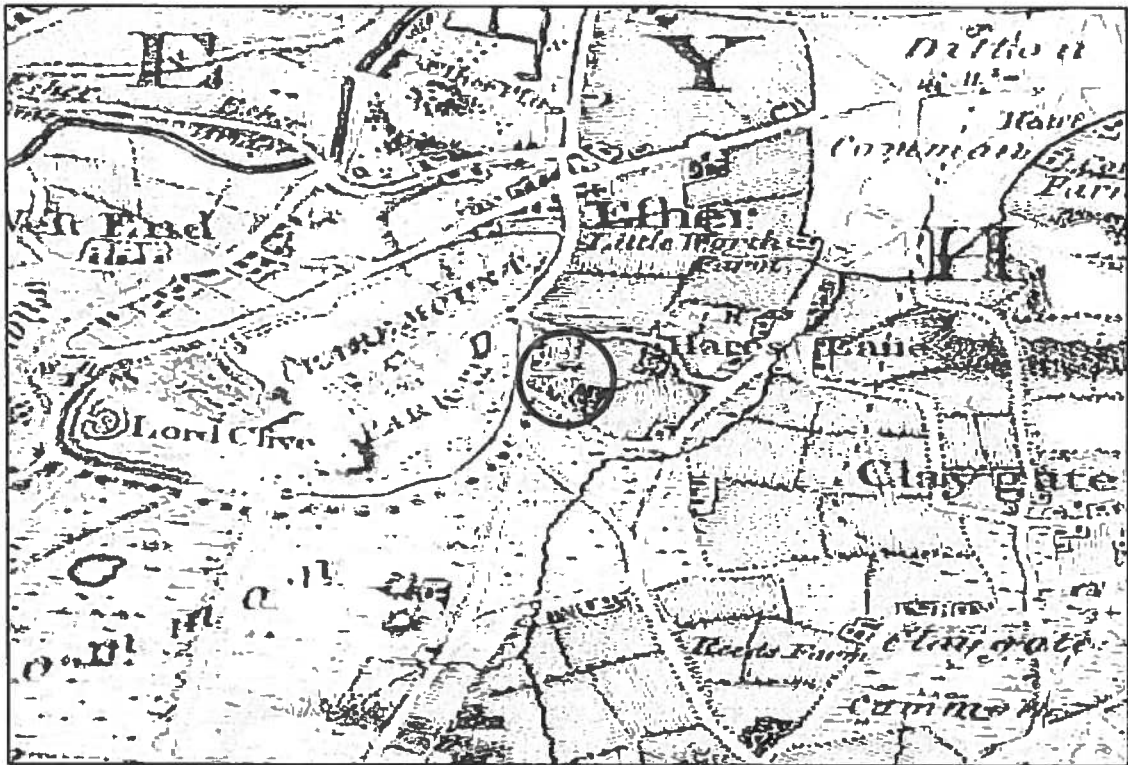


Figure 3: Rocques map of 1768 (red circle shows approximate location of Lakeside Drive)

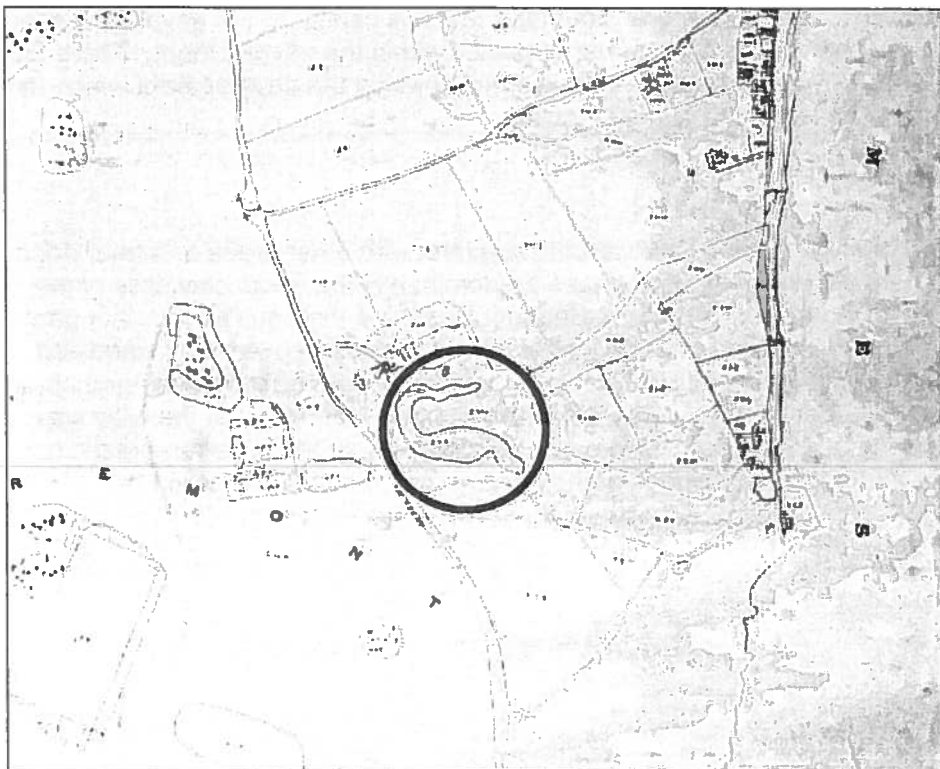


Figure 4: Tithe map of 1847 (Milbourne House and Ornamental Lake are highlighted by the red circle)

The Historical Development of Lakeside Drive

(a) Historic Background

The earliest map evidence, John Rocques map of 1768 shown in Figure 3, shows the area now known as Lakeside Drive as an area of cultivated land and a series of buildings to the east side of what is presently Copsem Lane and south of what was known as Hares Lane, now Milbourne Lane.

The inhabitants of what was the small village of Esher maintained several farms and smallholdings, one of which may be the buildings shown on Rocques map and sustained a living on the land they held as tenants on the 'manorial lands'. This principally comprised the right of common to graze animals on Milbourne Rough, an area which probably encompassed the present Lakeside Drive environs.

Milbourne House was built c1788-89 by John Henry Delavel (created baron in 1786 and the father in law of Earl Tyrconnel who lived at Claremont) and has a history closely related to that of Claremont Park to the west side of Copsem Lane. It is thought that it was built as a hunting lodge to Claremont House.

Alterations to Milbourne Place and Claremont were carried out under the direction of Robert Adam (Delavel Family Papers, Northumberland R O) and prior to John Henry Delaval's departure in 1801 he incorporated more land for Milbourne House and laid a 'plantation' which was a series of individual and groups of trees. The estate, along with Claremont, was bought by the Crown in 1816 by Act of Parliament. The property was described as: 'Milbourne House with coach houses and offices, and gardens, and plantations and pleasure grounds belonging to the parcel of land comprising some 49 acres (including growing timber)'. Princess Charlotte and Prince Leopold gave the property to their principal equerry, Sir Robert Gardiner, who lived there for 50 years. There followed a succession of occupiers directly related to the owners and occupiers of the neighbouring Claremont Park. The farm and outbuildings to Claremont Park to the immediate west of Milbourne House, notably the former estate laundry survive today although they are much altered and converted to residential accommodation.

It is not clear when the ornamental serpentine lake was created. The water feature does not appear to be shown on Rocques map of 1768 but is present on the tithe map of 1847 shown in Figure 4. The map clearly shows the relationship of Milbourne House with its now acquired ornamental lake and the outbuildings forming Home Farm within Claremont Park to the west. The lake is further shown on the Ordnance Survey first edition (25 inch) map of 1868, shown in Figure 5, which also shows a well-wooded estate south of the house. It is notable that this map does not show any laid out footpaths, rides or vistas and is simply extensively planted with trees, reflective of the 'plantation' laid out by Delaval in 1801.

The Ordnance Survey (25 inch) map of 1895 shown in Figure 6 shows a more planned layout in terms of footpaths and planting with some distinction made between open areas and more densely planted spaces. The lake position and shape do not change significantly between 1847 and 1895.

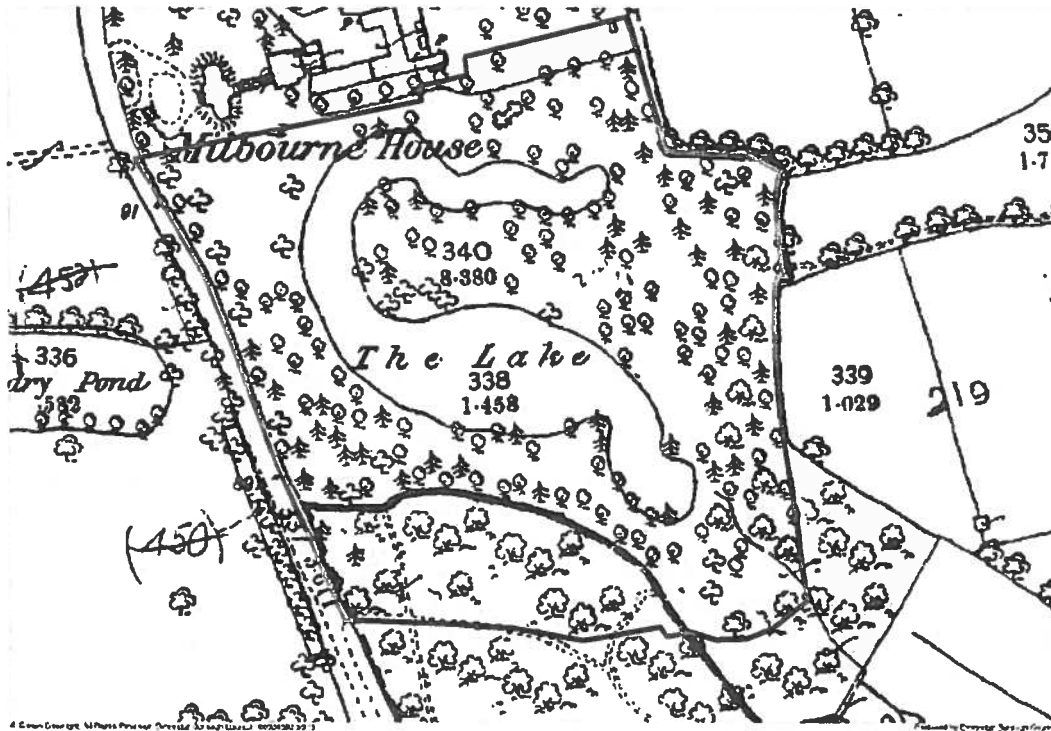


Figure 5: First edition Ordnance Survey map (1 to 25 inch) 1868 – with conservation area boundary highlighted

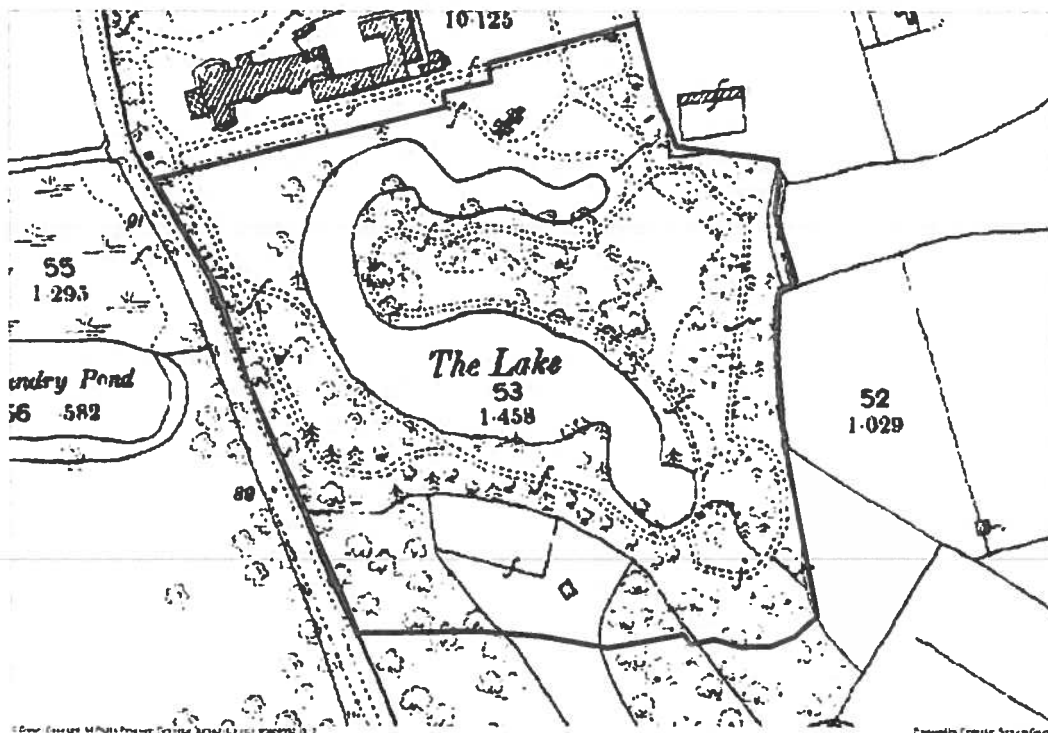


Figure 6: Second edition Ordnance Survey (1 to 25 inch) 1895 – with conservation area boundary highlighted

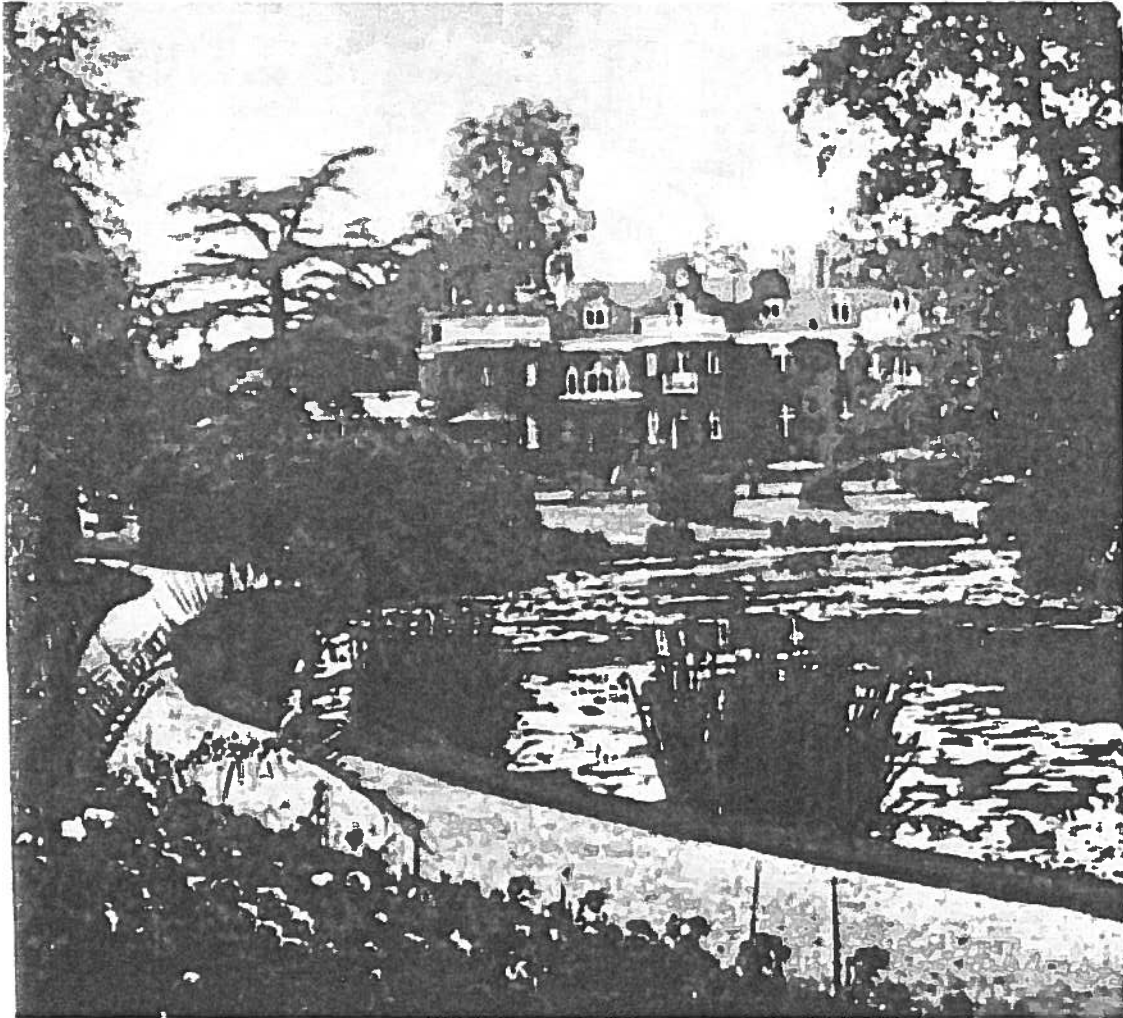


Figure 7: Photo of Milbourne House in its lakeside setting c1900

In 1903 a William Hartmann came to reside at Milbourne and it was he who developed a series of planted gardens around the ornamental lake shown in Figure 7. In 1912 the estate, of some 19 ha, was noted for being well timbered with beech, oak and fir (HER ref 13586). On his death in 1926 the estate was broken up and subdivided for new development. Six large houses were built on Milbourne Rough, the area of land to the south of Milbourne House gardens. By 1965 the mansion was in use as offices and occupied by Merz and McClellan, consulting engineers.

The shape and position of the lake remains consistent throughout the historic mapping in Ordnance Survey editions of 1914 and 1939 shown in Figures 8 and 9.

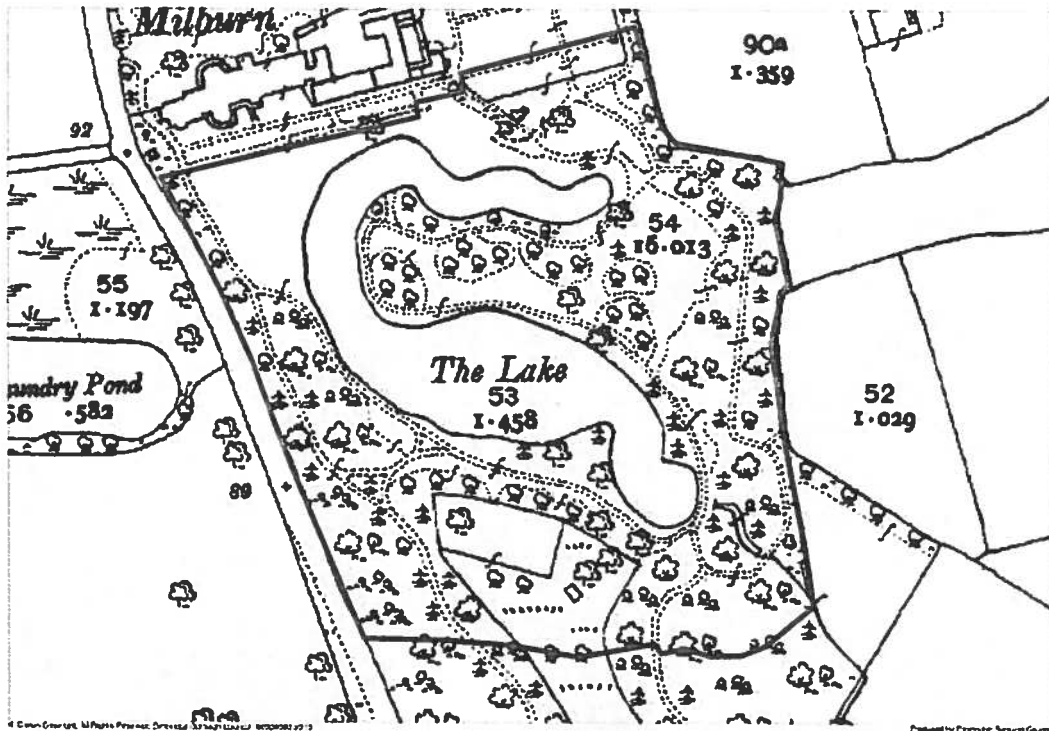


Figure 8: Ordnance Survey (1 to 25 inch) 1914 – with conservation area boundary highlighted

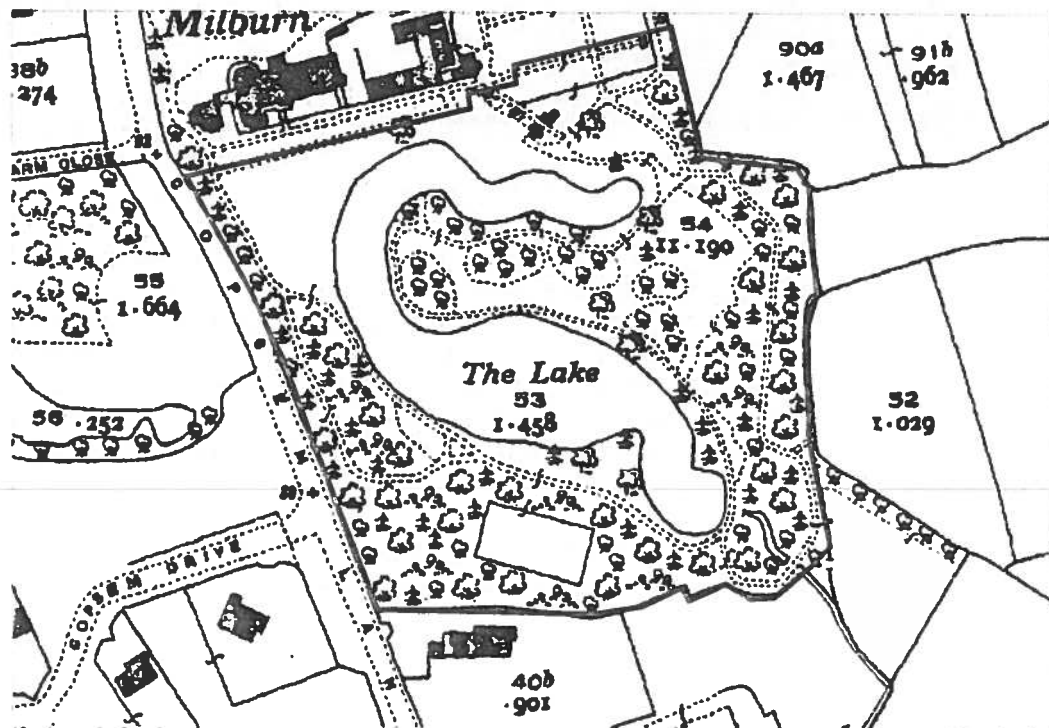


Figure 9: 1939 edition Ordnance Survey (1 to 25 inch) – with conservation area boundary highlighted

In the 1960s the grounds to the south of Milbourne House, 3.6ha in area and containing the lake of 0.8a, were acquired by Pace Developments for new residential development. The scheme comprising 16 detached houses was designed by the architect Royston Summers and constructed between 1971-78.

Royston Summers studied at the Architectural Association and as a student he joined the architectural department of Cornwall County Council as part of the team responsible for New County Hall in Truro which was Grade II listed in 1997. He also designed a range of office furniture that later went into commercial production and his first solo job was a new library in Saltash. In 1964 he set up his own practice in Blackheath, London. His first project to attract attention and to win a Ministry of Housing and Local Government medal was "North Several", a scheme of innovative energy-efficient houses using passive solar heating designed with the aid of computers for a group of families, including his own family.

An outline planning application for development of Lakeside Drive was submitted by Royston Summers in 1968. This was followed in 1969 by a detailed application for the first 5 houses, which were to act as exemplars, after which Summers' active involvement with the project appears to have ceased and Michael Wilson took on the detail design/supervision role. The landscape architect Frank Clark (1902-1971) was named as consultant for the planning stage. In 1976 Royston Summers and Pace Developments received a commendation for the development in the RIBA Architecture Awards (see Appendix 2) although it wasn't fully completed at that time.

Lakeside Drive was conceived as a high quality development. In Royston Summers' own words:

- '1. The intention is that all sixteen houses on this site, whether one storey or two storey should be one of a kind. Each will be a variation on a single theme, built of similar components, arranged in slightly different ways
2. The landscaping is carried out in consultation with Professor Frank Clark of Edinburgh University. The revised layout has been designed so as to preserve as many of the existing major, sound trees as possible.'

The intention was to provide the interior and individual gardens of each house with private views through the communal landscape and to adopt a design system which would allow the construction of houses in a rational and in some ways repetitive manner but without any one elevation ever being repeated, whilst allowing quick and easy adaptation to the wishes of the individual purchaser, particularly in relation to interior finishes.

The first house to be built (No. 2 Lakeside Drive) was a prefabricated design imported from Canada and it appears that it may have been the intention to use this system throughout the whole estate. However, a number of revised planning applications for the detailed design of individual and groups of houses ensued and in summary, there were a number of smaller building phases for both one and two storey houses. The earlier houses were all two storey but later in the life of the development, planning permission was given for single storey buildings, only to be replaced again by planning applications for two storey buildings.

¹ Letter from Royston Summers to Esher Urban District Council 30th May 1968 accompanying the outline application for planning permission for Lakeside Drive

Most of the existing trees were covered by a Tree Preservation Order (TPO) which was originally made in 1964 and covered Milbourne House and the area of land to the north and south. The TPO covered trees whether individually or by area, and these were incorporated and retained wherever possible. Prior to work commencing at the lake edges it had become overgrown with a mix of native and exotic planting. The Lake profile was truncated at both ends to accommodate the road layout. A report on the landscape history and development, prepared by a member of the Surrey Gardens Trust is attached in Appendix 1.

(b) Archaeology

There is a limited amount of archaeological and historical information for the area of Lakeside Drive. The majority of the archaeological work in and around the area has been undertaken in the settlement centre of Esher and has included some excavations and watching briefs carried out in response to redevelopment or development work.

The area falls outside and is some distance from any defined Areas of High Archaeological Potential although it did historically form part of the wider context of Claremont Park estate.

4 Surviving Historical Features within the Lakeside Drive Conservation Area

(a) Summary of surviving features

- An ornamental serpentine lake dating probably from the early 1800s (and present on the 1847 tithe map) which has largely retained its shape and position
- A number of fine mature specimen and native trees probably originating from the Milbourne House early 18th century 'plantation' but mainly from the Victorian/Edwardian era.
- The development of the 1970's architect designed residential estate of Lakeside Drive which has changed little since inception
- Some survival of the planting scheme for the original concept of the housing development
- Examples of the original house design, configuration, proportions and materials – particularly to windows and doors
- A clearly defined public and private hierarchy complimented by built form and a series of original boundary walls and planting

5 The Character and Appearance of the Lakeside Drive Conservation Area

(a) Street pattern and building plots

The architect has designed both street pattern and building plots to strongly relate to the shape, extent and position of the ornamental lake. The road winds south around the bottom of the lake and then curves north continuing around in a wide arc to the meet the top narrower section of the lake.

Building plots are carefully laid out so as to generally have a strong visual and, in the case of the properties to the water's edge, a physical relationship with the lake. Houses are laid out on a strong north-south or east-west axis so as to maintain privacy and residential amenity for owners. In this respect the sitting rooms and principle bedrooms enjoy private views of gardens or the water. Elsewhere, the houses are set sufficiently back from the observer or have the defensive barrier of the lake thus maintaining a sense of public and private space without the need for high hedges or walling.

Boundary walls form an important part of the building plot definition particularly to the roadside but they are never dominant or overbearing and careful planting has helped to relieve their impact to certain parts of the conservation area.

(b) Current activities and uses

Lakeside Drive comprises entirely detached private family residences. There are some private communal areas which are managed by a residents association and this includes the lake. The road is an adopted highway and its maintenance and upkeep comes under the responsibilities of the Surrey County Council Highways department.

(c) Focal points, views and vistas

Views, terminated views, glimpses and vistas are identified on the townscape map shown in Figure 18.

The focal point of the conservation area is the lake. The lakeside setting is not immediately apparent from Copsem Lane and the first open vista across the lake as the road curves north is very well considered and is perhaps the best public view of the houses in their lakeside context.

Glimpses of the lake are seen between and sometimes through houses. The entrances are often designed with glazed panels or opposing doors to allow views through to the waters' edge. Views are occasionally terminated by houses, sometimes comprising unrelieved brickwork with a narrow slot window. This is generally informal and the design of the layout and positioning of the houses in relation to the landscaping does not give rise to long extended views or large open planned vistas. Rather, views are generally short and intimate and well controlled by the positioning of buildings or boundary walls or the placing of landscape features. This is a very strong characteristic of the area, its informality and integration with its historic and contemporary landscaping.

There are no significant landmark buildings within the group. Milbourne House, now Princess Gate, could be considered as a local landmark and the original section is a

locally listed building. However, it is only glimpsed upon from the conservation area and no longer plays the significant role it has had when Lakeside Drive formed part of its formally planted gardens.

The service towers to the individual houses occasionally perform the role of a local landmark within the context of Lakeside Drive but they merely act as indicators of the way in which the various house variations are modelled and do not play a significant landmark role other than in very local view of some of the houses set within their landscaped grounds as shown in Figures 14 and 15.

(d) Open spaces, landscape and trees

Open space within the conservation area comprises of areas of grass either acting as communal areas or private garden spaces. The open character of some of the front garden spaces and the ability to view houses within an open garden setting is a strong and positive characteristic of some of the houses to Lakeside Drive. This tends to be typical of those that are set back from the lake and therefore have been given more of a landscape setting.

The trees form an integral and highly significant role in the character and appearance of Lakeside Drive. There are four distinct landscape phases starting with the 18th century landscape for the Claremont Estate of which the serpentine lake is the only surviving feature. Then the Victorian/Edwardian estate and the planting of which some remains including the Blue Cedar, Oak, London Plane and Swamp Cypress species. The garden was then overgrown before it was sold for development in the late 1960s.

During the design and construction phase in the 1960s and 1970s many of the existing trees were retained as a key part of the setting and the lake was truncated and dammed at one end. New trees including Pine, Silver Birch, Norway and Japanese Maples were planted together with more invasive Rhododendrons and Bamboos. From the 1980s onwards smaller Japanese Maples, Cherry and Poplar trees and Tasmanian ferns were introduced together with screen hedges such as Leylandii, Photinia and Escallonia.

The survival of landscape elements from the 18th and 19th centuries through to the present day and the layering of these is a very significant feature of the established character of Lakeside Drive, and reinforced by a high standard of maintenance. Trees also figure significantly in the setting of the conservation area and those mature trees to Orchard Way and High Garth form an important part of the setting of the conservation area.

(e) Floorscape, street lighting and street furniture

The road and pathways are generally unassuming and of a standard layout and specification, and do not appear out of place in terms of the period of the development. The street lighting is modest and discreet and does not impact on the architectural quality of the houses or their setting. Street furniture is limited to street signs and a switch cabinet for telecommunications equipment. The latter is poorly located in front of the best view of the lake and its lakeside houses.

(f) Summary of features

- Unique twentieth century architecture within an eighteenth century landscape to form an elegant and uncontrived character area
- Mix of single and two storey elements to each unique house made up of a component 'kit' of garage, service area (including entrance and tower) and living/bedroom quarters which include the characteristic window walls
- Strong relationship of built form to the lakeside shown in **Figure 10**
- Open garden spaces to the waterfront
- Curving road giving rise to attractive developing and constantly changing views throughout
- Boundary walls helping enclosure of private garden spaces and providing comfortable enclosure to the street scene
- Glimpsed views to the lake through house service cores
- An open character within mature trees, boundary walls and some mature hedging
- Mature landscape setting, particularly where trees form a strong backdrop to houses and the lake setting shown in Figure 11
- Glimpsed views through to the refurbished and extended Milbourne Lodge, now called Princess Gate

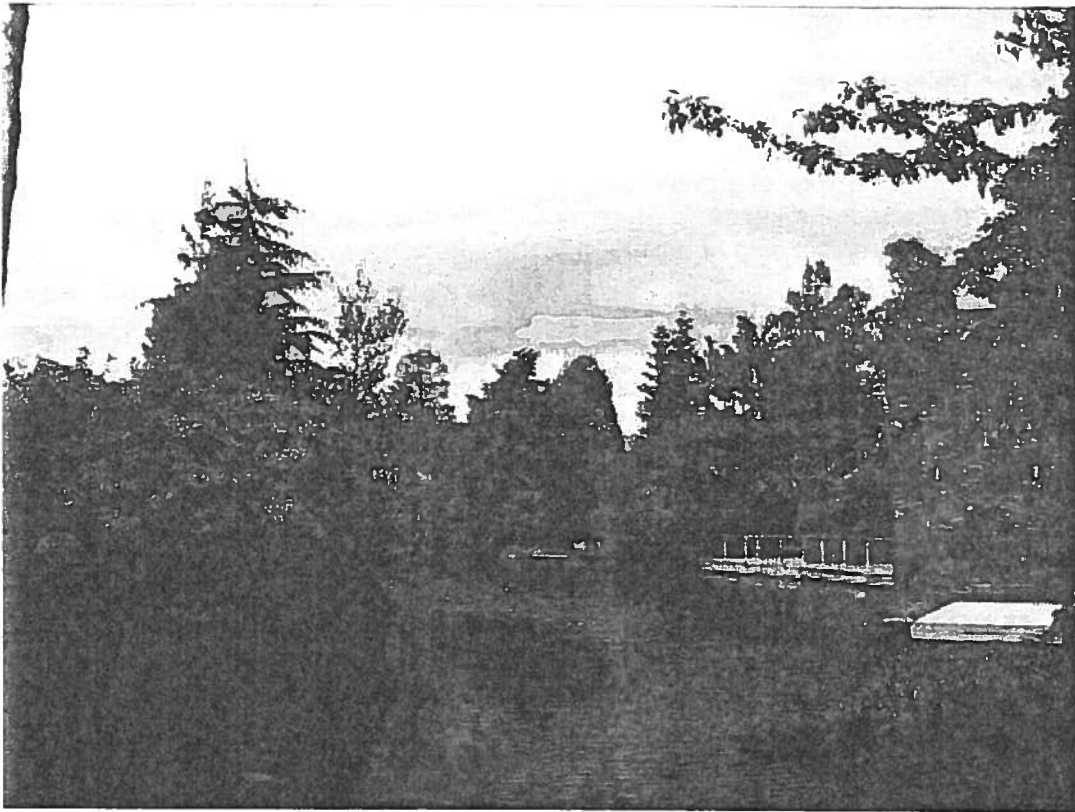


Figure 10: The landscape setting of the lakeside

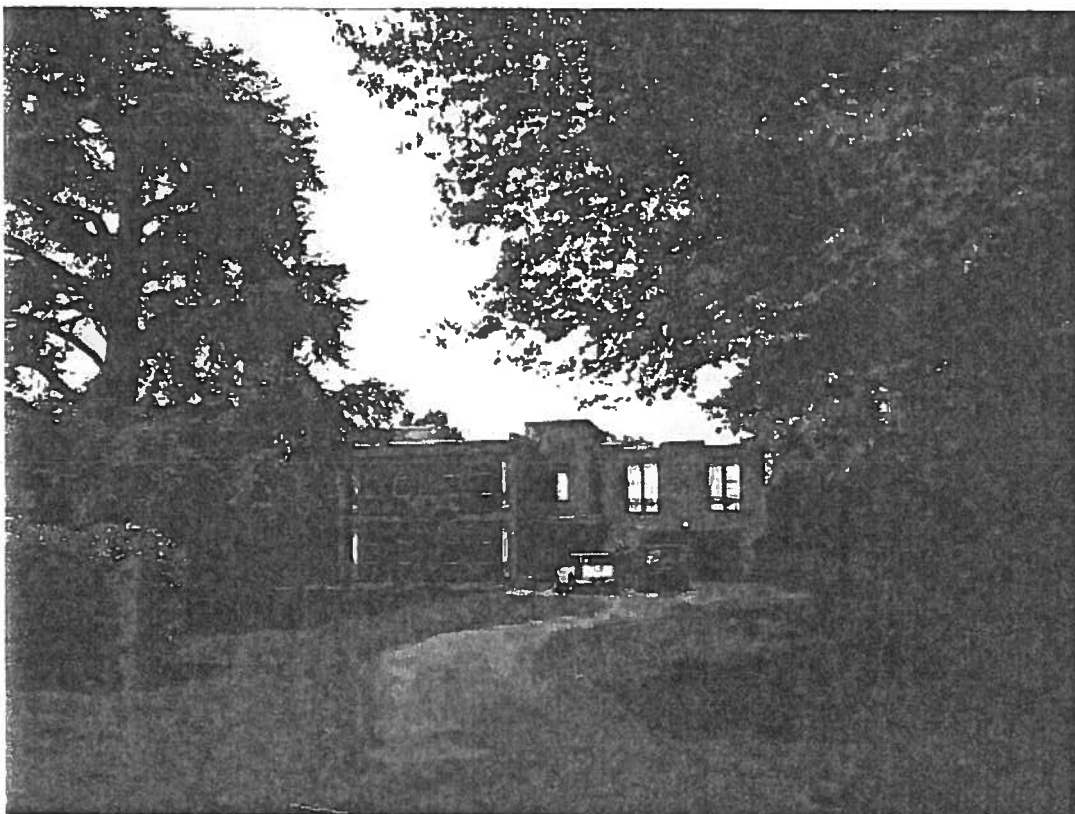


Figure 11: The garden setting of houses set back from the lake

6 The Architectural Context of Lakeside Drive

An overview of the modern movement can be found at Appendix 3. The houses of Lakeside Drive can be considered to form part of this movement but with a special emphasis on landscape setting. Immediately post-war and through to the latter part of the 1970s, the setting formed an important part of the development of groups of houses with the emphasis on community and the blending of external and internal spaces, concepts which are still developing and continue to be seen in housing evolution today. This makes an area with very special character and appearance.

(a) Comparable Conservation Area designations

There are a number of conservation areas which have been designated in England because they reflect the spirit of the mid to late 20th century period. Perhaps the most influential developers of housing in the period was Span Developments. A number of their early schemes are now designated conservation areas. This includes Parkleys in Ham (1955, London Borough of Richmond Upon Thames), Mallard Place (1984, London Borough of Richmond Upon Thames) the first and last Span estates, The Fieldend Conservation Area near Teddington and the Manygate Lane Estate in Shepperton. The latter shares many of the characteristics of Lakeside Drive although all of these examples are at a far higher density than Lakeside Drive. The houses to the Manygate Lane estate are influenced by the houses of Marcel Breuer and Alvar Aalto. In these houses, the Modernist flat roof, edged in aluminium strip, emphasises the precise 3-dimensional geometry of cubic forms. Cross wall construction, with brick flank walls. Open plan interior with circulation space in the core. Blurring of indoor/outdoor space is a key theme. All of these characteristics are shared by the houses of Lakeside Drive.

There are, however, very few conservation areas designated associated with houses of the 1970s. The closest comparison in terms of period is Lillington and Longmore Gardens (1970 City of Westminster). This is high density housing on a large scale and very different in form to the Lakeside Drive Development. It does however share the accolade of a RIBA commendation in 1973.

[b] Statutory Listed buildings of the 1970s

Statutory listed buildings (Grade I, II* or II) from the 1970s period are very rare and nationally there are only a very small number (less than 10) on the statutory list. These houses have to be of exceptional architectural interest and essentially in their 'as built' state (although there are exceptions). A notable building which shares some of the characteristics of those built to Lakeside Drive is the Anderton House, Barnstable, built 1970-72 by architects Aldington, Craig and Collinge shown in Figure 12. This house is Grade II* listed and is perhaps most significant for the way in which the plan blurs the relationship between inside and outside area, reflective very much of the period and seen in the houses to Lakeside Drive.

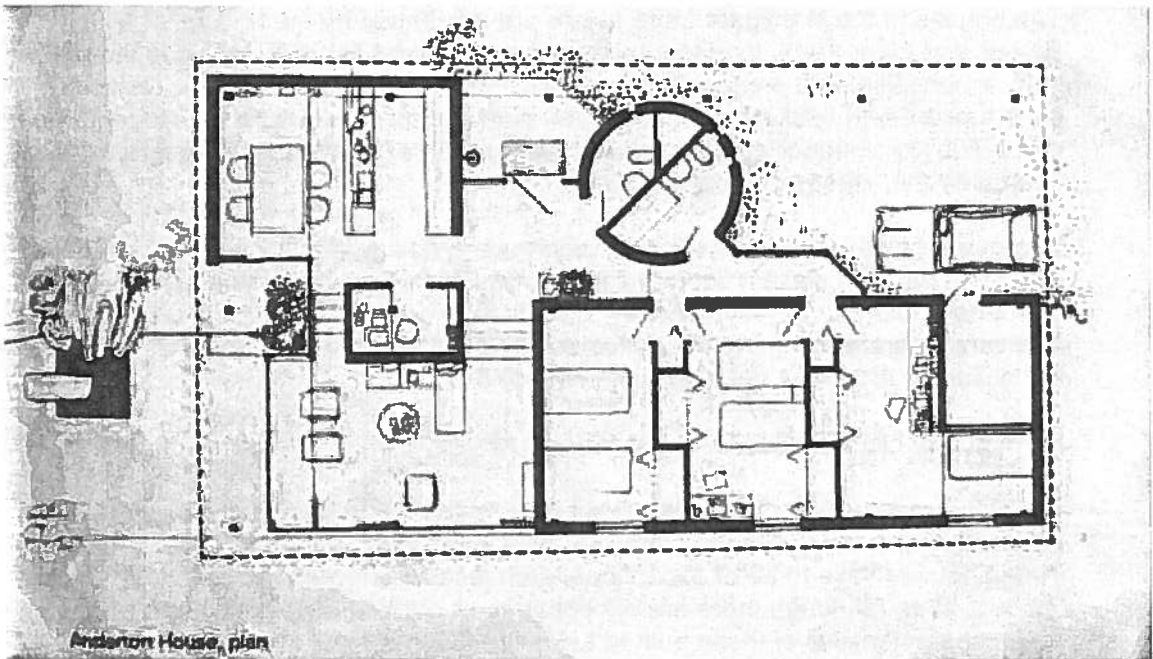
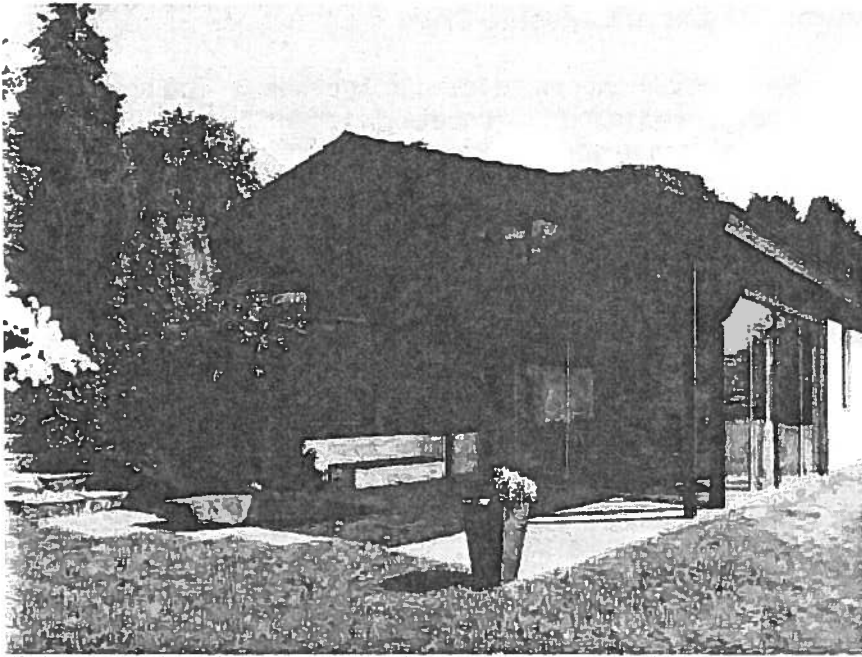


Figure 12: Anderton House, Barnstable 1970-72 Architect: Aldington, Craig and Collinge
Statutory listed Grade II*

7 The Buildings of the Lakeside Drive Conservation Area

(a) Architectural styles and detailing

The architectural style of the buildings was conceived as a kit of parts which have been placed together in a number of different configurations to provide the varied but complementary house plans seen today shown in Figure 13. This can be summarised as follows; a double garage unit, a unit for linking the garage to the house which also acts as an entrance porch. A characteristic of this element is that there is often a view through the house at this point. There is then a pair of service cores, one being the tower which is the equivalent of 2.5 storeys. These contain the entrance hall and kitchen. There leads off from this the sitting room at ground level and bedrooms or study at first floor level. The arrangement of these elements follows three key rules:

- Each house should sit within its own grounds
- As many houses as possible should have a view of the lake
- Each house should be afforded privacy to its principal rooms

To each house there are window walls - a bank of windows forming one side of the plan, usually the sitting room and principal bedroom shown in Figure 14. The original windows comprised timber mullions with double glazed aluminum units and sliding sashes built into the fenestration sequence. A number of these have been replaced with different types of opening window sections and casements.

The walls comprise of sulphate-resisting, reinforced concrete foundations with Staffordshire brown-brindled smooth faced engineering bricks in stretcher bond up to two courses above the finished water level. Above this level, facing bricks both internally and externally are purple multi-stocks. External joinery was originally western red cedar treated with a stain preservative. A notable feature of the brickwork is its recessed mortar joint set back from the brick face giving a very crisp and new feel to the brick elevations despite their 30 plus years.

Internally joinery is Canadian white rock maple and grade 'A' Finnish birch plywood. Heatherbrown quarry-tiles (which were used to match the brickwork) have been used outside and inside, particularly as a wall finish in some of the noise-generating, 'wet' areas such as utility rooms and bathrooms. This attention to materials led the architects journal to remark;

'From a technical stand-point, therefore, the buildings, inside and out, require no maintenance, other than washing with water'²

² Architects Journal Vol. 165, no.15, 1977 Apr.13 pp. 691-703

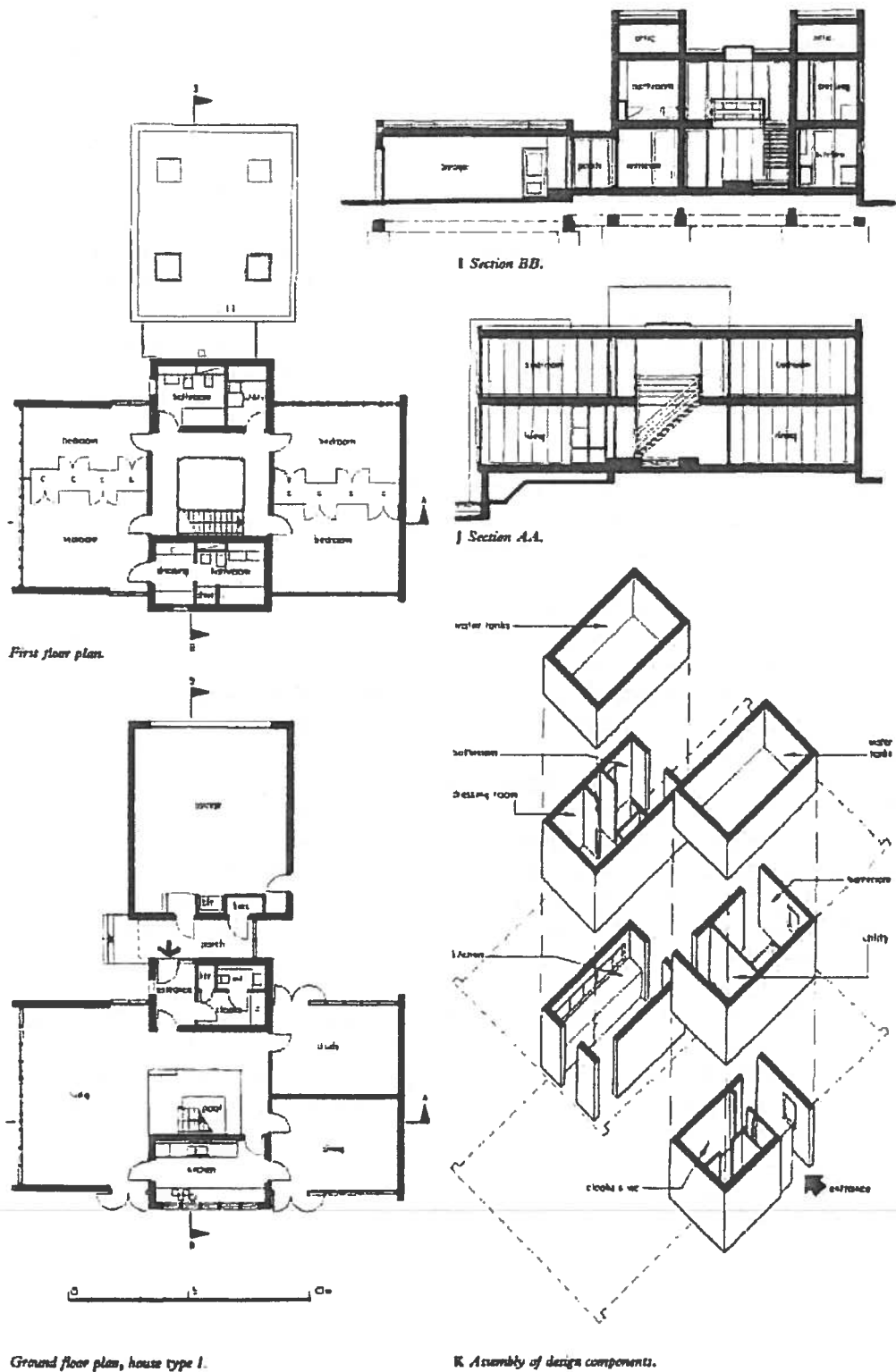


Figure 13: House Plan showing the combining of the various component parts

The house plan and selected elevations and in particular its use of the Golden Section (a proportion relating to the pattern book building of the Georgian period) give the houses a very high level of aesthetic quality which is not immediately apparent but explains why the houses now sit very comfortably within their landscape setting. The scale is human throughout, there are no sudden changes or contrasts in terms of the transition between elements of the building. This is a very important part of the understanding of the architectural language which has been employed throughout Lakeside Drive.

Windows throughout have a strong vertical emphasis - seen as narrow slots or divided by substantial mullions in the window walls and this is juxtaposed with the strong horizontal line of the roof parapet with hidden flat roof behind. The balance of opening to void brickwork is an important part of maintaining the character of these houses.

There is a notable exception to the house group. No.2 Lakeside Drive differs from the remaining houses. It is steel framed with vertical stained timber weatherboard external cladding. The windows also vary from those seen to the remaining houses being larger picture windows with top lights and a low transom bar. Although a modular design, this house is very different in approach and does not follow the architectural 'rules' defined by the remaining houses in the Lakeside Drive. It is no less architecturally distinguished and positively contributes to the quality of the group.

(b) Boundaries

Boundaries are formed from an attractive and clever integration of soft planting, brick boundary walls and the walls of houses. It is this subtle variation in boundary treatment, which complements the enclosure to the roadside and adds to the overall quality of the built environment. Houses, particularly to the southern section of the conservation area are integrated into the streetscene very successfully as shown in Figure 15. They are brick, matching that of the houses with the occasional use of horizontal boarded fencing, in staggered stained timber boarding. The brickwork is stretcher bond and also has the distinctive use of a deep mortar joint with the mortar recessed from the face of the brick. This creates an attractive shadow to the joints and emphasises the crispness and precise nature of the smooth brick used throughout Lakeside Drive.

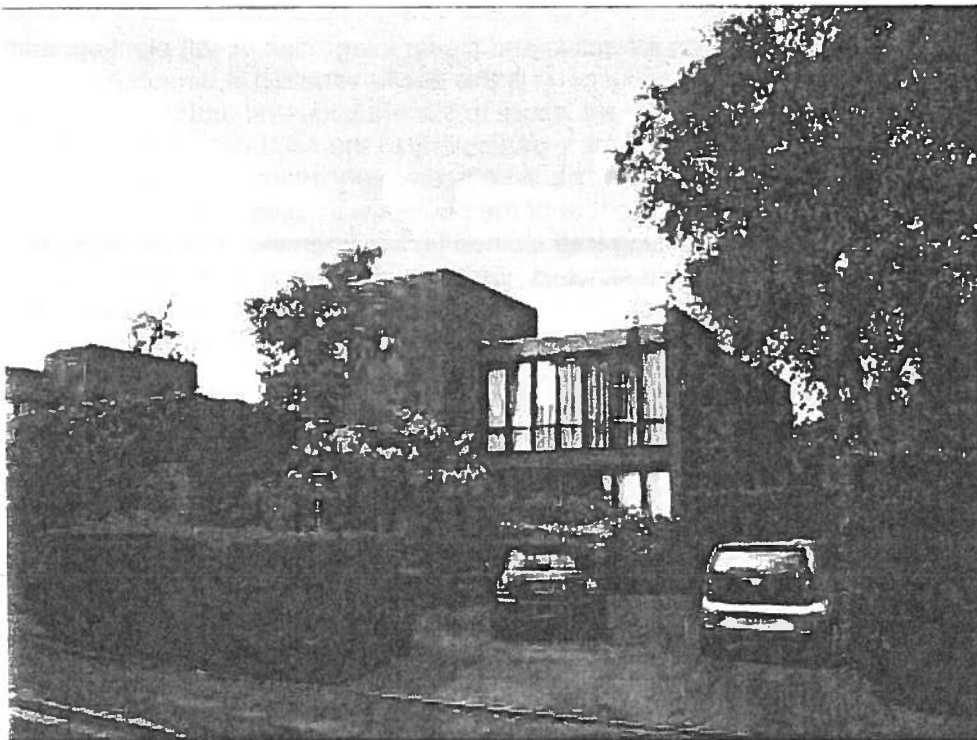


Figure 14: Two variations on the modular system of garage, service core and tower and entrance link and living and bedroom areas with window walls



Figure 15: Soft planting, boundary walls and houses are carefully integrated into the townscape of the development

8 Negative Features and Issues

The conservation area is extremely well maintained and attractive. There are few significant negative features or issues evident. However, small scale incremental changes and/or developments which do not recognise the special character and appearance of the area can detract from its special quality. A few emerging issues are identified as follows and these could form the basis for future guidance within a Management Plan document:

(a) Changes to windows and doors

Where windows and doors have been replaced with alternative designs these mostly reflect the spirit and delicacy of the original design. However, some have been less successful and variations in materials used, colour, section of glazing bars and mullions can have a cumulatively negative effect on the overall character of the individual houses.

(b) Extensions or alterations to houses

Some houses have been extended, most notably to create an additional room over the garage. This has begun to erode the overall effect of the modular nature and composition of the original houses. Major changes to any one of the 16 houses such as the introduction of a pitch roof or the rendering or painting of brickwork would have a radical and highly detrimental effect on the character and appearance of the group.

(c) Screen planting

There are some instances where additional planting has complicated the original simple landscape scheme. This can occur where fast growing species of hedging has been planted or existing hedges left to grow beyond their original height and gardens become separated where they were once part of the wider open landscape character of the development.

(d) Loss of views to the lake

There have been some incidences where landscaping or alterations to the internal layout of houses have reduced or removed incidental or the architect's intentional views to the lake. This is particularly the case in terms of the entrance halls. The installation of a metal telecoms box in the middle of the main view of the lake is a negative feature.

Part 2 Conservation Area Management Plan

1 Management Plan

1.1 Legislative background

The designation and appraisal of any conservation area is not an end in itself. The purpose of this document is to present proposals to achieve the preservation and enhancement of the conservation area's special character, informed by the appraisal, and to consult the local community about these proposals. The special qualities of the Lakeside Drive conservation area have been identified as part of the appraisal process in the first section of this document and will be subject to monitoring and reviews on a regular basis. This guidance draws upon the themes identified in Section 8 of the conservation area appraisal 'Negative features and issues'. The document satisfies the statutory requirement of section 71(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 namely: *"It shall be the duty of the local planning authority from time to time to formulate and publish proposals for the preservation and enhancement of any parts of their area which are conservation areas."* Section 69(2) states: *"It shall be the duty of the local planning authority from time to time to review the past exercise of functions....and determine whether any further parts of their area should be designated as conservation areas"*

The document reflects Government guidance set out the National Planning Policy Framework and English Heritage guidance titled 'Understanding Place, Conservation Designation, Appraisal and Management (March 2011). Also policies and supplementary guidance that form part of the Elmbridge Local Plan and the advice leaflet 'Conservation Areas' produced by Elmbridge Borough Council

It is recognised that this area is not one where large-scale development is likely to occur and generate major investment and improvements. It is important that the development control process ensures the preservation of special character and that opportunities are taken to identify and implement enhancements.

1.2 Proposed boundary

The Lakeside Drive estate boundary reflects the well-defined extent of the garden enclosures of the houses which line Lakeside Drive and the communal areas which surround the ornamental lake and form part of the approach to Lakeside Drive from Copsem Lane.

1.3 Significant Unlisted Buildings

There are no statutory listed buildings or buildings included on the Local List within the conservation area. However all of the 16 buildings that fall within the conservation area would be considered as Significant Unlisted Buildings which make a positive contribution to the character and appearance of the conservation area. They are marked on the Townscape Appraisal map. The Council will encourage all applications for extensions and alterations to the buildings of Lakeside Drive to be carefully considered and assessed against saved Policy HEN11 and future replacement policies in the emerging Development Management Plan.

Recommended Action: The Council will seek to ensure that the 16 houses of Lakeside Drive which are all defined as Significant Unlisted Buildings are protected from inappropriate forms of development, or unjustified demolition.

1.5 Additional Planning Controls

The character appraisal has identified that there is a potential threat to the character and appearance of the conservation area from inappropriate alterations to buildings. This is principally due to changes to windows, doors and poorly designed extensions in materials which do not match and/or are not of the same quality as the original buildings.

The design of extensions can normally be controlled through existing planning powers, unless, in the case of extensions they are considered permitted development. Certain minor works and alterations to unlisted buildings, in use as single family dwellings, can normally be carried out without planning permission from the Council. Development of this kind is called "Permitted Development" and these minor alterations can cumulatively have an adverse effect on the character and appearance of a conservation area. In order to maintain the high quality of design apparent throughout the conservation area, it is important that the design guidance given in Appendix 4 and general guidance on development in conservation areas is followed. The appraisals identified that the following alterations pose a threat to the special character of the certain areas of the conservation area:

- loss of original windows and doors;
- painting or repointing of brickwork or the application of render;
- removal or alterations to boundary walling

The active Residents Association and the Lakeside Drive covenant (which operates independently from the planning system and its legislation) does much to preserve and protect the character and appearance of Lakeside Drive.

Recommended Action: The Council will seek to ensure that planning applications are assessed in accordance with published design guidance and respect the Lakeside Drive Conservation Area

1.6 Trees

The tree types and distribution of trees within the conservation area are one of the key defining characteristics of the conservation area and strongly relate to the original inception of the development as a housing scheme which utilised and emphasised the existing layering of historic landscape character and added its own layer of hard and soft landscaping.

It has been noted that on detailed survey of Lakeside Drive, there has been a steady loss of large, over-mature trees since the establishment of the development and replacements have consisted of a diverse range of smaller scale trees rather than native forest type species due in part to the limited space available. Additional planting by the residents has added to the luxuriant character of the development but the wide range of plant material has diluted the original cohesive appearance of the landscape.

Trees play a major part in the townscape of Lakeside Drive. The attention of householders is drawn to the fact that felling or lopping of trees can only be undertaken with permission or after a period of notice. Trees that have reached the end of their life should be replaced by a species appropriate to the area and which will achieve a mature height appropriate to their location. Future replacement planting within communal spaces and adjacent garden areas (where visible from the

access road) when it becomes necessary could be taken from a selected list, perhaps using existing successful plant combinations to provide scale and continuity.

Recommended Action: The Council will seek to review the existing TPO and consider the use of Tree Preservation Orders to further protect trees in appropriate circumstances, where a tree, or group of trees has significant amenity value and is considered to be potentially under threat. This will include trees both within the conservation area and those outside the conservation area which are considered to contribute to its setting, or to views identified in the appraisal.

1.7 Settings and Views

The views of the lake from both communal areas and private spaces within the conservation area are one of the defining features of the character of the conservation area. In particular the view from the roadside across the lake (see **Figure 16 Townscape Analysis map** at the end of this document) gives a real sense of the concept of the layout and careful positioning of buildings and access points to the lake in order to enjoy the integration of water, soft planting and built form. In this respect, maintaining and enhancing views to the lake are essential in order to preserve the character and appearance of the Lakeside Drive Conservation Area.

Recommended Action: The Council will seek to ensure that new development respects the important views identified within the Appraisal within, into and out of the conservation area. The Council will seek to ensure that these remain protected from inappropriate forms of development.

1.8 New development

There are very limited opportunities for any redevelopment within the Lakeside Drive Conservation Area, although some improvement or enlargement of the existing buildings may be possible subject to very rigorous controls. The Council will encourage good quality schemes that respond positively to their setting. Further guidance is found in Appendix 4.

Recommended Action: The Council will seek to determine applications with regard to national and local planning policy

1.9 Boundary treatments

Since inception of the development, the original planting scheme relating to boundary treatments has been eroded by subsequent planting. It is now difficult to identify the precise species used in the initial landscape proposals but examples of small to medium sized shrubs, mainly evergreen, planted to the roadside include berberis, cotoneaster, lonicera, euonymus, phormium and viburnum with climbers softening garden walls – ivy, boston ivy and wisteria. The use of these shrubs for boundary definition will be encouraged where possible. Whilst hedges along the road frontage of plots have been maintained at a reasonable size the maturing screen vegetation within and between properties has encroached into the open lawn areas limiting views to and across the lake.

The retention and maintenance of boundary walls is an important part of the management of the Lakeside Drive Conservation Area. In particular, the use of appropriate brick types, in terms of size, colour, texture and equally important colour and specification of mortar mix and use of a set back joint will all be important in

maintaining and where appropriate adding to or altering existing boundary walls. As a general rule close boarded fencing and other forms of timber boundary fencing are unlikely to be acceptable within the conservation area.

Recommended Action: The Council will seek to resist proposals to remove or significantly alter original boundary walls or for new boundary treatments which fail to respect the form and materials of original boundary treatments within the Lakeside Drive Conservation Area.

2 Monitoring and Review

The following actions are recommended to ensure that the character appraisal and management proposals are accepted and acted upon by the local community.

2.1 Public consultation

The draft Lakeside Drive Conservation Area Character Appraisal and Management Plan has been created through collaborative working by the Conservation Area Working Group. This has been a partnership between Elmbridge Borough Council and the local community (including the Esher Conservation Area Advisory Committee). The programme was managed by Forum Heritage Services. An initial workshop identified the key issues important to the area, which were incorporated into the document. Drafts were circulated among the working group and amended in the light of comments received.

The appraisal and management proposals were then subject to a six week period of wider consultation.

2.2 Conservation Area Advisory Committee

The Council has an established Esher Conservation Areas Advisory Committee (CAAC), which comprises a cross section of local residents, including representatives of amenity associations and professional people. The Council consults the CAAC on applications affecting the character and appearance of the conservation area. The Committee also plays an important role in the general care and monitoring of the conservation areas and makes proposals for their improvement. It is suggested that a member of the Lakeside Drive Residents Association is invited to join the existing Esher CAAC to provide local expertise and representation.

Recommended Action: The Council will continue to support and consult the CAAC, and the community in general where appropriate, on applications within the Lakeside Drive Conservation Area. The Council and the CAAC will work together on recording and monitoring projects and identifying and, where appropriate, implementing enhancement opportunities.

2.3 Boundary review

It is unlikely that boundary review will be a significant issue with regard to the unique nature and highly defined character of the Lakeside Drive Conservation Area. However, in accordance with its statutory duties the Council will regularly review the boundary of the conservation area to ensure it is sound and that the buildings and structures within it retain their special qualities.

Recommended Action: The Council will continue to review the boundary of the conservation area in accordance with Best Practice and guidance on management of the historic environment.

2.4 Document review

This document should be reviewed periodically in the light of the Local Development Plan and emerging government policy. A review should include the following:

- A survey of the conservation area and boundaries;
- A 'Heritage Count' comprising of a dated photograph record of the conservation area
- An assessment of whether the management proposals detailed in this document have been acted upon, including proposed enhancements;
- A Buildings At Risk survey;
- The production of a short report detailing the findings of the review to reflect any changes to the character or appearance of the area that have occurred since the current document was prepared and setting out any proposed actions and amendments.
- Public consultation on the review findings, any proposed changes and input into the final review

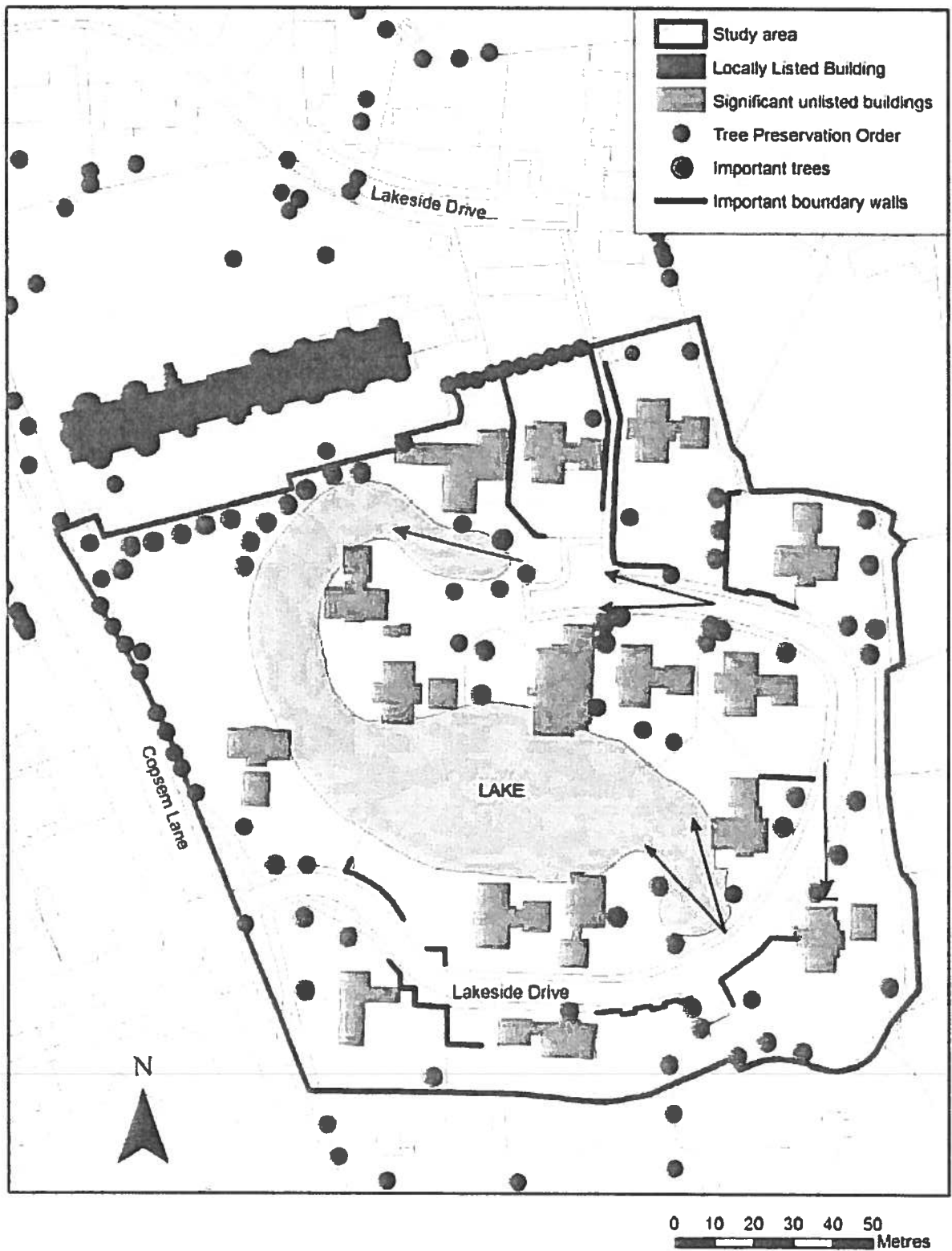


Figure 16: Townscape analysis and heritage assets

Appendices

- Appendix 1: Landscape development and context report
- Appendix 2: RIBA Commendation Certificate
- Appendix 3: A brief overview of the Modern Movement
- Appendix 4: Guidelines for new development
- Appendix 5: Further reading and information

Appendix 1: Landscape development and context

Historic Parks and Gardens Survey by the Surrey Gardens Trust

Lakeside Drive, Copsem Lane, Esher, Surrey (Tq141636)

Landscape history and context

During the 18th century the estate to the south of the lodge formed part of the open land of Esher Common but without the lake (Rocque plan 1768). By 1801 a Claremont Estate Survey plan (James Chilcott, PRO ref MPEE 1/215) shows 'Milburn Villa', built by Delavel, and its ancillary buildings with the lake located to the south within a 'Pleasure Ground'. Tree planting around the villa was likely to have reflected species used within the Claremont estate at this time but the Esher Tithe Map (dated 1847 SHC) does not show planting within this area – only the lake. Succeeding OS Maps from 1868-1939 (SHC) show the profile of the lake virtually unchanged from that shown on the Tithe Map.

During the 19th century the range of plant species was extended. The tree report by Tilhill (dated 1968) identifies a number of mature specimens including cedar, oak, beech, pine, liquidamber, and swamp cypress, in addition to lime and horse chestnut included in the TPO dated 1964.

The 1868 OS Map shows areas of woodland to the east, south and west of the lake in a mix of deciduous and coniferous species with a more open approach to the lake from the house terraces to the north. By the date of the OS 1895 survey a series of footpaths had been recorded running around the lake within wooded and open (grassed) spaces. The 1914 OS Map shows little change to the earlier plan of the lake area but introduced additional footpaths within the Rough and a more formal layout of the gardens and structures near the house. Informal footpaths followed much of the lake perimeter and linked up to the house, the route defined by groups of rhododendrons and more ornamental planting. In the area enclosed by the serpentine lake groups of trees and underplanting in blocks were interspersed within glades. Within the lake water lilies were grown with clumps of rushes/reeds to the margins.

Further tree species planted in the early years of the 20th century are indicated by the more mature trees which have been retained within the Lakeside Drive site – maple, cypress, poplar, plane, sycamore and cupressus. Shrub species (as found on site today) used as the landscape structure within an informal layout included rhododendron, laurel, yew, holly and bamboo, but the understory is also likely to have included a wider range of conifers, ornamental shrubs and perennials within the mix.

The landscape proposals for the 1970s development introduced a new range of plants, as well as using species already present on site, within the public areas whilst retaining suitable mature trees as a structural element. The trees planted in the 1970s included pine, cedar, maple (with purple foliage), silver birch, cherry, rowan and alder. Planting within gardens now contains a wide range of the more ornamental tree species, i.e. magnolias, Japanese maple, cherry. Privacy to and between plots has been achieved with hedging, predominately evergreen, using laurel and rhododendron with cupressus screening on the development boundary. It is now difficult to identify the precise species used in the initial landscape proposals

[no detailed planting schedules are available] but examples of small to medium sized shrubs, mainly evergreen, planted to the roadside include berberis, cotoneaster, lonicera, euonymus, phormium and viburnum with climbers softening garden walls – ivy, boston ivy and wisteria.

There has been a steady loss of large, overmature trees since the establishment of the development and replacements have consisted of a diverse range of smaller scale trees rather than native forest type species due in part to the limited space available. Whilst hedges along the road frontage of plots has been maintained at a reasonable size the maturing screen vegetation within and between properties has encroached into the open lawn areas limiting views to and across the lake. Additional planting by the residents has added to the luxuriant character of the development but the wide range of plant material has led to a dilatation of the cohesive appearance of the landscape. Future replacement planting within communal spaces and adjacent garden areas (where visible from the access road) when it becomes necessary could be taken from a restricted list, perhaps using existing successful plant combinations to provide scale and continuity.

The approach to Lakeside Drive along Copsem Lane with the retained mature trees located in the highway verge enhances the setting whilst providing visual separation and privacy.

Report and following plant schedules are reproduced by kind permission of Graham Sutton, Surrey Gardens Trust, August 2013

Schedule 1 – Historic Planting (Illustrative)

Planting	18 th Century	19 th and early 20 th Century
Trees	Beech Cedar – Lebanon Lime Oak – English and Turkey Lime Plane Scots fir	Alder Beech - Purple Cedar – Atlantic Cypress Fir - Douglas Horse chestnut Liquidamber Maple – Silver Poplar Silver birch Swamp cypress Sycamore Willow
Understorey	Hazel Holly Laurel - Common and Portuguese	Bamboo Cupressus Rhododendron

Schedule 2 – 20th Century Redevelopment Planting
(1970s Public and Plot Frontage Areas)

Trees	Large shrubs	Medium-small shrubs	Others
<p>Large/medium:</p> <p>Birch – Common and Paper Cedar - Deodar Fir - spruce Ginkgo Liquidamber Norway maple</p> <p>Small:</p> <p>Flowering cherry Magnolia Maple – Japanese and Box Elder Palm - Chusan Rowan</p>	<p>Arundinaria Cotoneaster Elaeagnus (deciduous) Hazel Holly Laurel Magnolia (deciduous) Mahonia Pittosporum Pyracantha Viburnum (evergreen and deciduous)</p>	<p>Azalea Aucuba Berberis – evergreen, deciduous, purple foliage Box Choisya Cotoneaster Cortaderia - Pampas grass Euonymus Hebe Ivy Lonicera Phormium Skimmia Viburnum</p>	<p>Hedges:</p> <p>Cupressus Laurel - Common and Portuguese Rhododendron</p> <p>Wall plants/climbers:</p> <p>Boston Ivy Honeysuckle Ivy – golden var. Jasmine Magnolia - grandiflora Vine - fruiting and ornamental Wisteria – floribunda</p>

Note: Schedules based on original planning application plans and species identified on site or in immediate vicinity on visits in May and June 2013; does not include most recent plantings within the development.

Schedule 3 – Indicative Replacement Planting

Trees	Large shrubs	Medium–small shrubs	Others
<p>Large:</p> <p>Acer platanoides 'Crimson Sentry' Pinus sylvestris</p> <p>Medium:</p> <p>Betula pendula 'Tristis' Ginkgo biloba</p> <p>Small:</p> <p>Acer capillipes Magnolia kobus Prunus serrula Sorbus aucuparia</p>	<p>Fargesia nitida Cotoneaster lacteus Elaeagnus x ebbingei Ilex aquifolium Viburnum rhytidophyllum Viburnum tinus Viburnum x bodnantense 'Dawn'</p>	<p>Berberis darwinii Berberis thunbergii 'Atropurpurea' Euonymus fortunei (vars) Phormium tenax Skimmia japonica 'Rubella' Viburnum davidii</p> <p>Ground cover plants:</p> <p>Lonicera pileata Hedera helix 'Hibernica' Pachysandra terminalis</p>	<p>Hedges, tall:</p> <p>Prunus lusitanica Rhododendron sp.</p> <p>Hedges, low:</p> <p>Ilex crenata (not box) Lonicera nitida 'Ernest Wilson'</p> <p>Wall plants and climbers:</p> <p>Hedera colchica 'Sulphur Heart' Lonicera japonica 'Halliana' Magnolia grandiflora Parthenocissus tricuspidata 'Veitchii' Pittosporum tobira Wisteria floribunba 'Macrobotrys' Vitis coignetiae</p>

Appendix 2: RIBA Certificate of Commendation

Royal Institute of British Architects
Architecture Award 1976

Commendation

Lakeside Drive, Esher

Designed by Royston Summers

for Pace Developments Limited (Developer)

and built by Pace Developments Limited

President *W. W. Edwards*

Awards Committee *Henry G. G. G.*

Chief Executive *W. W. Edwards*

Appendix 3: Summary of the Modern Movement

The Modern Movement

1920 - 1965

Introduction

The following text provides an outline of the origins and architectural approaches characteristic of what is called the Modern Movement. It is intended to assist in understanding the architectural significance and detailing associated with Lakeside Drive.

General Background

The Modern Movement was a self-conscious style created by architects and theorists inspired by a desire to break with the past and to express the spirit of a new machine age.

The new design philosophy also expressed itself in new and experimental forms of furniture where the term "form follows function" adequately described the approach. In its aim to change society's attitude to design it was not universally popular: most Modern Movement houses in both the United States and Britain tended to be individual architect-designed residences, and few developers were prepared to risk speculative building in the same style. Manygate Lane is one of these rare examples.

By the early 1900's, leading German and Austrian designers had reacted against excessive ornament and laid the foundations for an architecture that relied on space, proportion and smooth surfaces. One of the first, the Austrian Adolf Loos (1870-1993), spent three years in the United States from 1893 to 1896. His critical essay "Ornament and Crime" (1908) rejected ornamentation as degenerate, and his interior designs were instrumental in forming the Modern Movement. Frank Lloyd Wright (1867-1959) in the United States was also an important influence on the movement, with his simplified horizontal forms.

Following World War I, the turmoil of Europe encouraged avant-garde movements in all the arts, and a distinctive cubic architecture emerged from the De Stijl group in Holland and Le Corbusier (1887-1965) in France. Britain was slow to respond to these influences, although Le Corbusier's *Vers une Architecture* was published in English in 1927 and outlines his "Five Points for a New Architecture": *piloti* (houses on pillars), horizontal windows, free plan, free facades and flat roofs.

Some of the earliest flat-roofed houses in Britain were a small, relatively unimpressive group of workers' houses in Braintree, Essex, built in 1919 by Crittall's, a firm of window manufacturers. In 1924 Crittall's went on to develop the garden village of Silver End in Essex which has some of the first recognizably Modernist houses in Britain. The imaginative interiors designed in 1929 by Raymond McGrath (1903-77) at Finella, a refurbished Victorian house at Cambridge, are acknowledged as being a forerunner of Modernism. Throughout the 1930's, both in the United States and Britain, the distinction between the Modern Movement proper and popularised versions of it, variously labelled as "moderne", "half-modern" or "jazz-modern", are hard to make. The differences may be found less in physical appearance than in the intentions and attitudes of the designer and client, since

Modernism aimed at a new way of life, with increased sunlight, fresh air and contact with nature, all of which were already taken for granted by most middle-class suburban Britons and Americans.

Perhaps for these reasons Modernism was slow to make converts in both countries, which already had more sophisticated traditions of domestic design and lifestyle than Continental Europe. Nonetheless, the imagery of health and cleanliness was one of Modernism's main selling points and the elimination of mouldings and ornamentation could be justified as a way of avoiding dirt and reducing housework.

Less appropriate to the domestic scale were Modernism's structural innovations, and many houses were treated as experiments in concrete and other materials that were quite unjustified functionally. The lack of traditional weather-proofing details created problems of maintenance, and many Modernist houses have subsequently been much altered. In Britain, only some 300 individual Modernist houses were built, mostly in suburbs where they are misfits. A rare West Country example is The Yacht Hotel, Penzance, built in 1936.

In the United States, Modernist houses are also in a minority. Frank Lloyd Wright spans the whole period, without fitting into it neatly. His famous house Falling Water (1935) in Pennsylvania, with its horizontal lines of smooth concrete, was the closest he got to the Modern Movement. In California, Irving Gill (1870-1936) made fascinating experiments with prefabricated concrete construction before 1914, and arrived independently at a style similar to Adolf Loos. Later, the Austrian Rudolph Schindler (1887-1953), who began his American career in Chicago, built the Lovell Beach House (1925) at Newport Beach, California, a revolutionary concrete structure. Schindler had gone 30 per cent over budget, so when his client wanted another house, he went to a fellow Austrian émigré, Richard Neutra (1892-1970). Neutra's Lovell House, which in the event was 100 per cent over budget, is another landmark in the development of Californian Modernism.

On the East Coast, the Swiss-born William Lescaze (1896-1969) was a pioneer in Modernist architecture but the diffusion of the Modern Movement had to await the arrival of exiles from Nazi Germany – Walter Gropius (1883-1969), Marcel Breuer (1902-81), Ludwig Mies van der Rohe (1886-1969), and others – at the end of the 1930's. Their work continued to be influential into the 1950's, partly through their teaching activities. But Modernism remained a minority style amid American suburban eclecticism.

In Britain in the interwar years the 'modern' style was expressed in individually commissioned private houses mostly built in the south of the country. The Architectural Review had published details of some sixty examples by 1940. Some notable examples are Newton Road, Paddington by Denys Lasden, and Old Church Street, Chelsea by Mendelsohn and Chermayeff, and Sun House, Hampstead by Maxwell Fry. These and the relatively few other examples of what had become known as the 'International' or 'modern' style were in stark contrast to the bulk of inter-war architecture.

Immediately after the war shortages of materials in Britain diminished ubiquitous use of concrete in modern architecture and experiments were made in the use of painted weatherboard, brick and tile hanging. In this way the 'modern' or 'international' style of the 1920's and 1930's in Europe were introduced on a larger scale to Britain as a mature style without any significant transitional development.

The 1950's brought a new generation of architects, labelled "New Brutalists", who rebelled against the mild Scandinavian "Contemporary Style" Modernism of the 1940's. They returned to the pioneer works of the 1920's for inspiration, combined with the continuing influence of Le Corbusier and Mies van der Rohe. Texture was reintroduced to materials, and heavy, over-structured forms were preferred.

By the early nineteen sixties most of the best design work in the modern style was being commissioned by Local Authorities and universities particularly in the housing and education fields. The London County Council architects department were by this time attracting some of the country's top designers and a number of innovative Council housing layouts were emerging.

It was against this background that the first of the private estates began to capture the imagination of a section of the home buying public. Coupled with the simplicity of the buildings themselves, and perhaps as a contrast to it, the role of the landscape designer began to be recognised. These new layouts were often designed in close harmony with the existing mature landscape features. The large wall to ceiling glazing allowed the garden spaces to interact with the interior design ideas. Lakeside Drive incorporates all these ideas in both overall layout and interior design.

Often this work was seen as unpalatable and contributed to the widespread disillusion with Modernism in the 1970's. Although, many architects have continued to work within the Modernist tradition, it effectively ended around 1975, since when its influence in domestic design has again been restricted to a handful of individual houses, but with some rare examples of small estate design.

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Appendix 4: Guidelines for new development

1. Introduction

The Lakeside Drive Conservation Area poses particular challenges in terms of providing advice on new development. Despite some erosion of the architectural detailing and the modular principles of the original houses within the Lakeside Drive Conservation Area, there remains a very clear cohesion and recognisable architectural quality throughout.

The original values and architectural principles are still evident and much of this is due to the good management and advocacy of the Lakeside Drive Residents Association and covenants over which they preside. The combination of the lakeside setting, retention of a complex layering of trees and soft planting from various historic planting phases and the planting from the original developments inception give this area a strong sense of place and an established character of real quality and distinctiveness.

2. Contextual Design

There is a clear architectural quality to the houses, reflected in historic architectural recognition and present day acknowledgement of their well considered design. All development, but especially that in conservation areas, must respond to its immediate environment, its 'context', in terms of scale, form, materials and detailing. Applicants for planning permission must therefore provide with their proposals a 'Design Statement', to justify the design decisions that have been made as the scheme developed and how it relates to its context. Development opportunities within the conservation area will be likely to comprise modest extensions, where the 'context' – the existing host building and its immediate surrounding buildings and structures (to include boundary walls) - may be obvious, but still needs to be acknowledged and respected in new design.

The emphasis in any new development or alterations must be on the need to provide a high quality of design. Positive change in such a sensitive townscape can provide vitality and interest and designation as a conservation area should not stifle well thought-out contemporary design of a quality in material and detailing terms of its neighbours.

The basic form of extensions should be governed by the very clearly defined urban grain, scale, materials height and massing of existing houses within the conservation area. This is particularly important within the context of Lakeside Drive as the development strictly conforms to a set of principles set out in the appraisal which dictate and define the existing development and should inform and where necessary control the extent to which individual buildings can be extended and new buildings such as for example garden buildings can be added. These elements should be used to set out the basic form of the building or addition, including roof shape and pitch, height, depth of plan and the rhythm and composition of the façade.

3. Urban Grain

The “urban grain”, or form, of historic development has been described in some detail in Part 1 of this document.

In summary, the houses of Lakeside Drive have been very carefully positioned to maximise views of the ornamental lake and maintain the privacy of the occupants despite the use of large expanses of windows to key elevations. This established urban grain is not easy to interpret on the ground due to soft planting and the limitation of public viewpoints but in plan (see townscape map at the end of this document) the highly sensitive nature of the way in which the buildings relate to each other and the lake or roadside is apparent and should be carefully considered in terms of new development or extending or altering existing development.

This “urban grain” is an important part of the character of the conservation area and should be protected. Proposals for new development must include a detailed analysis of the locality and demonstrate that there is a full appreciation of the local townscape and how it has developed, including the relationship of houses, to landscape and the public realm and of course materials.

4. Scale

Scale is the combination of a building's height and bulk when related to its surroundings. To Lakeside Drive, the scale of houses in relation to their garden settings and the lake are important considerations. In addition, the scale of various different elements the building are important in terms of defining the modular system that defined the principles of the design of the houses using standardised elements but combining them in unique combinations to give the variation and careful use of scale seen today.

There is a combination of single storey and two storey buildings and importantly a varied scale to elements of the building such as the garages and service spaces as compared with the living rooms and bedrooms.

In practice, it is the combination of scale with layout, landscaping and other factors which determines the quality and “feel” of new development. Development which has a detrimental effect on the character of the conservation area will be resisted. Part 1 of the document explains the architectural importance of the area and new development must recognize the sensitivity of the designs and pattern of built form within the Lakeside Drive development.

5. Height and Massing

The height of elements of the built form within this conservation area are very sensitive to change. Of note are the 'tower' elements of the design which form prominent and distinctive elements of individual houses. Development which blurs or destroys this hierarchy within individual building designs will be resisted.

Massing is the combination of the scale of the development, its layout and its site coverage. The vast majority of development in the conservation area will be extensions to existing buildings, and therefore the issue of massing is often less relevant than scale and height. However, the massing of the houses of Lakeside Drive, as defined by their combination of elements (see Figure 13) is very important to the character and appearance of the Lakeside Drive Conservation Area.

6. Appearance, materials and detailing

Some of the greatest challenges and potential threats to the character and appearance of the Lakeside Drive Conservation Area are the impact of changes to windows, doors and the material detailing of the houses, such as the colour and finish of joinery such as fascias and door and window frames. The original materials used are identified in Part 1, Section 7.

Doors

The emerging design ethos of the Modern Movement sought to eliminate superfluous detail and to achieve broad unified surfaces. This desire coincided with the popularisation of plywood, which revolutionized the door. The thin layers of wood, which were bonded together under pressure, produced flush doors with no panels or mouldings; and the layers could be built up so that their total weight was equal to that of a solid wood traditional door.

Fully glazed doors became popular, as front doors and as garden doors seen at Lakeside Drive (Fig 17). This was to encourage the impression and promotion of the inside-outside space. The sense of a landscaped garden or communal space becoming part of the living area of a house. This is most apparent in Lakeside Drive and is particularly notable where front and rear doors are aligned in the circulation areas of the house to provide a glimpsed view through houses to the lake and private garden beyond. These are very important design characteristics of the house and glazed doors and entrance screens to both the front and rear of houses should be maintained.

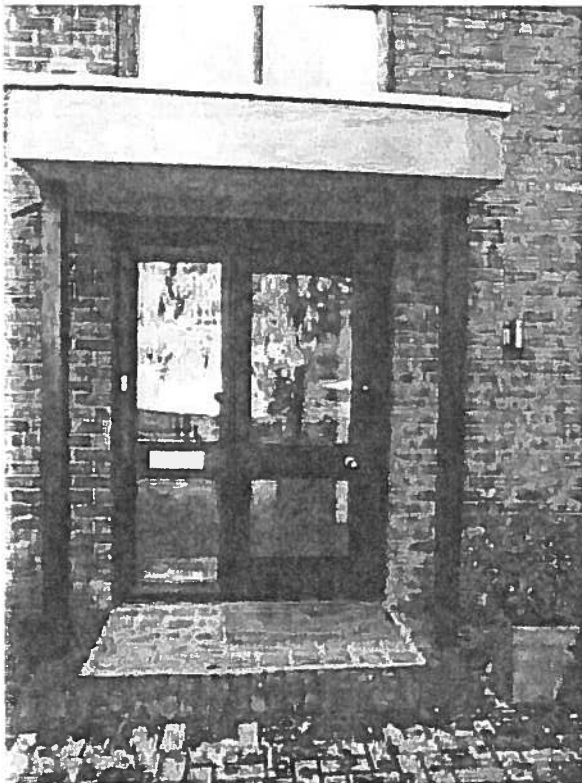


Figure 17: Photo of original door

Windows

In general, the modern movement promoted fresh air and maximum sunlight. Architects, such as Royston Summers designed large windows which ideally formed a continuous element with an outside wall. Living areas had windows, that rose from ground to ceiling level. This is a distinctive feature of the houses of Lakeside Drive (Fig 18). The window walls are a defining characteristic of the principle rooms. There are very few original window designs surviving. These comprised a series of strongly defined vertical timber mullions with selective panels integrating a vertical sliding sash component with very slender frames so as not to destroy the overarching vertical emphasis to the windows elements. These windows did not project forward of the facade thus maintaining the simplicity and clarity of the original design concept. These qualities should be very carefully considered when looking to replace or renew windows in existing houses.

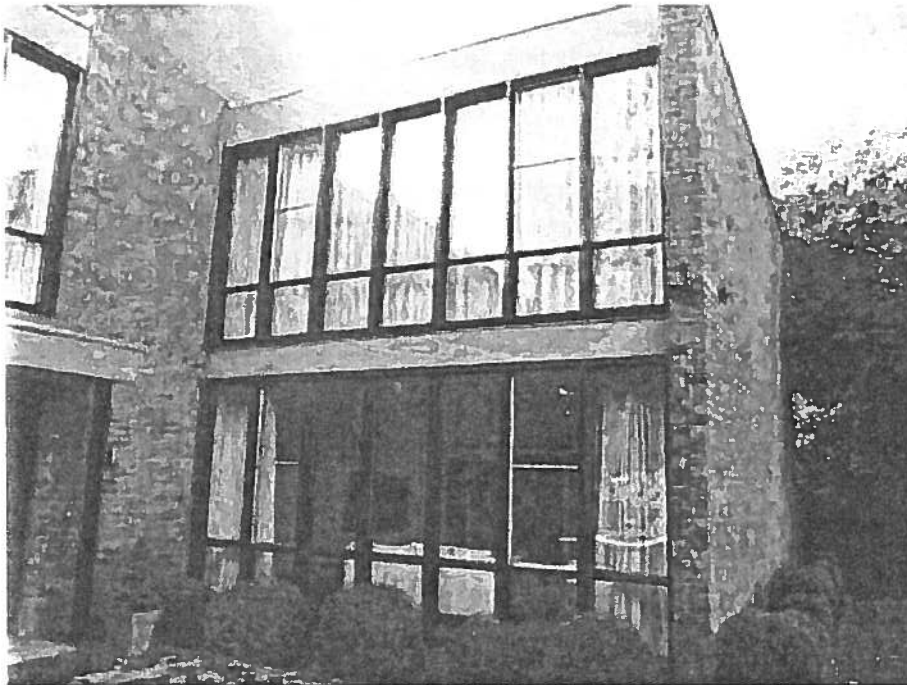


Figure 18: Photo of original windows

Brickwork

Given the nature and consistent date of construction of the properties within Lakeside Drive (constructed between 1971-78), the brickwork (with the exception of No.2) is consistent in terms of colour, texture, size and finish. This is a very important aspect of the design of the development. Proposed extension or alteration to any of the houses or boundary walls within the conservation area need to pay very careful attention to getting the brick details right. The original bricks used for the development are no longer available but very good matches (which have been used in extensions and alterations to date) can be sourced. It will be essential to research and secure the use of appropriate bricks for any changes to the built form within the conservation area. The Council will work with the Residents Association to provide contacts for materials and architects/contractors who are familiar with the nature and strict requirements of new build within the conservation area.

In addition to the careful selection of bricks, equal care needs to be taken on the selection of a mortar specification and the use of a recessed joint reflective of that seen to the original buildings. This is a very distinctive set back straight joint with no camber and is generally a fine mix with very little aggregate of any size. It was probably originally a silver sand and lime cement mix. The hardness of the specified bricks would allow for such a hard mix to be used.

Woodwork and joinery

External joinery was originally western red cedar treated with a stain preservative to produce a dark brown colour. Fascia boards are seen above windows and to porches. They are plain and either painted or have a through colour from manufacture. The colours used range from greys through to very dark green. Proposals for the redecoration or replacement of these panels should look to the established palette of colours, which is mainly dark brown, seen throughout the development and seek to replicate or complement this palette. Generally fascias are not white or cream and do not use gloss finishes – these should be avoided.

Driveways

There is some variation to the treatment of driveways and footpaths. This ranges from tarmac through to gravel (seen to No.2). The preferred finish appears to be a block paving. This is seen in various forms and generally a herringbone type pattern.

Strong colours such as an orange or buff finish should be avoided with more subtle multi-coloured blocks used reflecting but not necessarily matching the brickwork seen to the boundary walls.

Decking

Areas of timber decking have been introduced to enjoy the lakeside view and to date the balance has been maintained between these and the original sloping grassed banks.

Retrofitting of renewables and thermal efficiencies

The installation of solar panels and other methods of energy harnessing should be very carefully considered so as to minimize the impact on public and private views of houses within the conservation area. The use of solar panels on flat roofs where they can be clearly seen should be avoided as they would spoil the clean lines and architectural integrity of the house designs.

Retrofitting of renewables should not be at the expense of the architectural quality of the built form either individually or when seen in groups. It is recognized that maintaining and improving thermal efficiency is important to householders. When retrofitting or introducing new technologies the proportions, appearance and detailing of the existing buildings should be respected.

7. Design Checklist

All new development in the area should seek to:

Where relevant and appropriate, achieve continuity and reflect established street frontage building lines,

Maintain the original pattern of development by respecting the grain associated with the original plots and the historic morphology of the immediate area, including retained spaces between buildings which contribute to the local character;

Complement the human scale, height and massing of the existing development in the immediate streetscape and the wider context of the conservation area;

Reflect the proportion of solid to void found in the elevations of the original buildings and employ robust detailing, avoiding fussy or gimmicky use of applied features or detailing;

Respect the hierarchy of development and detailing particularly in relation to the modulation of the houses and their relationship with the street and/or lake and each other;

Reinforce local identity by the use of materials reflecting those used in the original development.

Appendix 5: Further reading and information

Books

Mitchell A 1995 *Esher A Pictorial History* (Phillimore & Co Ltd; 1st edition)
Pevsner N. 1936 *Pioneers of the Modern Movement* (Faber)
Stevens I. 1977 *The Story of Esher* (Lancet)
Summers R. *Design for 3 houses, Lakeside Drive, Esher, Surrey, Royston, 1931-2012*

Articles

Lakeside Drive, Esher Architects Journal Vol 165 no.15 1977 Apr 13 p691-703
Group of houses, Esher; Architects: Royston Summers, Jeffrey Mansfield RIBA Journal Vol.83 , No.8, 1976 Aug p336
Lakeside Drive, Esher; Architects; Harvey and Wilson Architects (London)Vol.5 no.1 1975 Feb/March p36
Lakeside Drive, Esher, Surrey; Architects: Harvey & Wilson Country Life Vol. 157 no. 4051 1975 Feb. 20 p442

For further information regarding planning and conservation related matters:

Planning Services, Elmbridge Borough Council

Civic Centre, High Street,
Esher, Surrey
KT10 9SD
www.elmbridge.gov.uk

Tel: 01372 474474

Further information regarding local history

Elmbridge Museum

Church Street, Weybridge
Surrey, KT13 8DE
www.elmbridgemuseum.org.uk

Tel: 01932 843573

Surrey History Centre

130 Goldsworth Road
Woking, Surrey
GU21 6ND
www.surreycc.gov.uk/surreyhistorycentre

Tel: 01483 518737

Fax: 01483 518738

General information related to listed buildings and conservation areas:

English Heritage

General enquiries:
www.english-heritage.org.uk

Tel: 0870 333 1181

For technical guidance:

The Twentieth Century Society

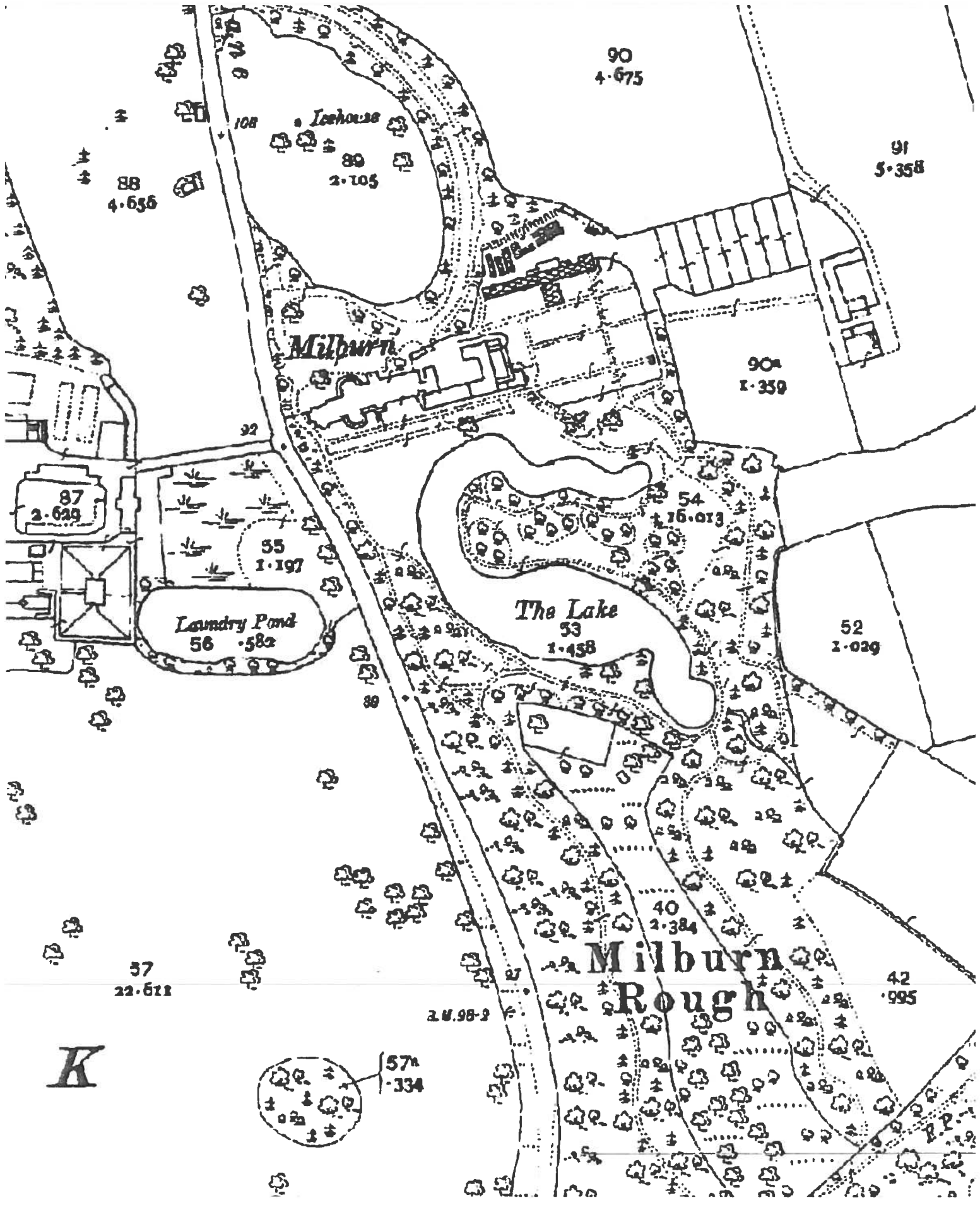
70 Cowcross Street, London, EC1M 6EJ
www.c20society.org.uk

Tel. 020 7250 3857

The Society for the Protection of Ancient Buildings (SPAB)

37 Spital Square
London E1 6DY
www.spab.org.uk

Tel: 020 7377 1644



Copies available for purchase from the Head of Planning Services,
Civic Centre, High Street, Esher, Surrey, KT10 9SD

Alternatively copies can be downloaded from our website:

www.eimbridge.gov.uk/heritage

